

EXHIBIT B

**SOUTH EAST LAKE
HISTORIC PRESERVATION PLAN**

APRIL 2021

SOUTH EAST LAKE HISTORIC PRESERVATION PLAN

I. PURPOSE OF LOCAL HISTORIC DESIGNATION

The City of Birmingham desires to protect its beauty and historical integrity, and to stabilize and improve its neighborhoods by preserving historic buildings and districts. To accomplish this, it adopted Ordinance No. 92-223 in September 1992 (with subsequent amendments in Ordinance No. 00-81) to authorize the designation of local historic buildings and districts.

There are several purposes of local historic district designation. The major purposes include the following: (1) To ensure that the character of historic districts is retained, protected, and enhanced; (2) To review major, proposed exterior changes to historic properties for conformity with the historic guidelines adopted in the district's preservation plan; and (3) To strengthen the economy of the City of Birmingham by enhancing its attractiveness to residents, visitors, and businesses and by stabilizing and improving property values, thereby maintaining economic investment in the City and avoiding or reversing urban decay and blight.

This local historic district designation will allow the South East Lake neighborhood the opportunity to initiate preservation and to provide input into how preservation of the historical and architectural character of the District can be accomplished. Thus, the City and the South East Lake Neighborhood believe the District's interests and the owners' interests will be enhanced by the local historic district designation.

II. STATEMENT OF SIGNIFICANCE

The South East Lake Local Historic District consists of approximately 547 acres and contains 1,636 resources, the majority of which are listed on the National Register of Historic Places as contributing structures that retain most of their historic character. The District is a combination of four National Register Historic Districts -- Howard College Estates, Lakewood, South East Lake, and South Highlands of East Lake -- each of which contains its own unique qualities while still sharing a common history and possessing features commonly characteristic of the larger South East Lake neighborhood located in eastern Birmingham. The District contains excellent examples of some of the city's finest residential architecture as well as more modest examples of middle-class housing. Each of the districts reflects a separate phase of development by the East Lake Land Company; however, they do share a common history. The East Lake area, similar to other parts of Birmingham such as East Birmingham and Ensley, was founded by speculators during Birmingham's pig iron boom.

South East Lake

Primarily a residential neighborhood located in the eastern section of Birmingham, South East Lake Historic District is part of the East Lake development, one of the city's oldest

planned communities (1886) and one of its earliest street car suburbs. South East Lake Historic District contains a wealth of late nineteenth and early to mid-twentieth century architecture reflecting the development of the area and the trends in American architecture from 1888 to 1948. Residential architectural styles in South East Lake include Queen Anne (earliest houses constructed in the SEL District date from the late 1880s), Craftsman/Bungalow, Tudor, Colonial Revival, Spanish Revivals, Art Moderne, Romanesque Revival, and various vernacular forms such as pyramidal roofed and L and T cottages.

In 1886, Robert Jemison, Sr. and a group of industrialists planned the East Lake neighborhood as a residential community that would be free of the smoke and other annoyances of an iron manufacturing town as was Birmingham during the late nineteenth century. The development of East Lake arranged the district in a typical grid pattern with broad avenues and cross streets. The focal point of the development was a park which, at that time, boasted a lake, bath houses, pavilions, a hotel, zoo, and boat houses. Jemison had created an ideal suburban neighborhood for the average middle-class American. After the opening of new railway lines and incorporation into the City of Birmingham, home construction in East Lake soared. It was during the 1920s that the majority of standing structures were built reflecting the popular Craftsman/Bungalow, and Spanish and Tudor Revivals. The post-World War II building boom also impacted the East Lake neighborhood. By the 1950s, scores of small but attractive dwellings quickly rose on vacant lots, filling in the streetscape.

During the 1960s, plans were laid for the creation of a major interstate highway linking Atlanta and Birmingham. The four-lane interstate, I-20, was laid through the East Lake neighborhood, severing the southern half (and the original planned subdivision) from the lake and the later neighborhoods lying to the north.

South Highlands of East Lake

South Highlands is part of the East Lake neighborhood, one of Birmingham's oldest planned communities (1886) and one of the city's earliest streetcar suburbs. The original East Lake development consisted of 60 city blocks laid off in a typical grid pattern. Those blocks surrounded a lake complete with bathhouse, pavilions, boathouses, and a hotel. As a result of the success of the original East Lake development, in the early twentieth century, the East Lake Land Company began to develop those lands to the south and west of the original neighborhood, creating Central Highlands, South Highlands of East Lake (to differentiate this development from the earlier South Highlands neighborhood located south of downtown Birmingham), Howard College Estates, and Lakewood. The streets of Central Highlands and South Highlands of East Lake were plotted in 1906, and three years later, the plans for Lakewood were filed with the city engineer. Lot configuration in South Highland of East Lake is an extension of the grid system with irregularly sized blocks and some triangular blocks

Due to the close proximity of South Highlands of East Lake to Howard College (now Samford University), the officers of the East Lake Land Company named the streets and avenues for universities and towns that were home to other institutions of higher learning. The South Highlands of East Lake Historic District is made up of most of the original plat of the 1906 addition to East Lake and subsequent southerly and northeasterly historic outgrowth. The District contains an impressive collection of architecture dating from the early 20th century through the 1950s, and the residences reflect the development of the neighborhood during the period of significance, 1906 to 1952, when residential building in the District ceased to rely on early-to-mid 20th century architectural designs and styles. The architectural styles include Tudor Revival, Colonial and Spanish Revival, Craftsman/Bungalow, Vernacular Pyramidal Roofed, Minimal Traditional, Ranch, Split-Level, L-cottage, T-cottage, and Modern.

Howard College Estates

The Howard College Estates Historic District is located on lands which were once part of the Howard College campus. In 1887, the East Lake Land Company offered the trustees of Howard College 60 acres of land lying along the southern boundary of the original East Lake development. The trustees accepted their offer and moved Howard College from Marion, Alabama to the new location in East Lake. In 1841, the Baptist State Convention had established Howard College in honor of John Howard, English liberator and reformer. In 1927, the East Lake Land Company resurveyed and subdivided a portion of the original but undeveloped 60 acres which had been granted to Howard College. This newly subdivided area was named Howard College Estates. The Howard College Estates Historic District encompasses seven whole and four partial city blocks, and contains an impressive collection of architecture dating from the late 1920s through the 1940s. The buildings reflect the various styles, forms, and trends popular in American architecture during the district's period of significance, 1927-1949. Almost half of the houses in the district can be classified as Tudor Revival, a style which enjoyed particular popularity in the 1920s and 1930s as masonry veneering techniques allowed even the most modest examples to mimic the brick and stone exteriors seen on English prototypes. Other than Tudor Revival, residential architectural styles in Howard College Estates include Colonial and Spanish Revival, Craftsman/Bungalow, Minimal Traditional, Ranch, and Modern.

In particular, the district reflects three distinct building periods in Birmingham's history: the prosperous 1920s, the post-depression late 1930s, and the post-World War II building boom. In the 1960s, the buildings of Howard College were demolished, and the former campus was subdivided into residential lots.

Lakewood

Located at the foot of Ruffner Mountain with rolling terrain, the area that encompasses Lakewood Historic District was originally part of the East Lake Development, and was surveyed and plotted in 1909. Originally, the area was called "Circle Highlands." The district includes broad avenues set at angles to the original streets, as well as curving

roads and roundabouts. The district's period of significance is 1920-1950. Architectural styles include Tudor, Colonial and Spanish Revival, Craftsman/Bungalow, Minimal Traditional, Ranch, and Modern.

According to the National Register criteria, areas of significance for the South East Lake Local Historic District are, first, Community Planning and Development, and secondly, Architecture. As noted in the above descriptions of each National Register historic district, the area contains an impressive assemblage of architectural styles popular for residences throughout the United States during the first half of the 20th century. For more detailed information about historic resources within the South East Lake Local Historic District, refer to the National Register of Historic Places nominations of the Howard College Estates, Lakewood, South East Lake, and South Highlands of East Lake Historic Districts, all of which contain complete inventories.

III. ELIGIBILITY STATUS

The four National Register Historic Districts that form the South East Lake Local Historic District were added to the National Register of Historic Places as follows: Howard College Estates, listed in 1999; Lakewood, listed in 2000; South East Lake, listed in 1997; and South Highlands of East Lake, listed in 2003. Based on the historical and architectural surveys that were completed as part of the four previously-named National Register nominations, the proposed South East Lake Local Historic District is automatically eligible to be designated as a local historic district under the City of Birmingham's Historic Preservation Ordinance.

IV. BOUNDARY DESCRIPTION

The boundaries of the South East Lake Local Historic District are outlined on the attached map and defined by the attached boundary description. Generally, the boundary of the district includes portions of Division Avenue, 1st Avenue South, 86th Place South, 8th Avenue South, 9th Ave. South, 80th St. S, 81st St. S, Vanderbilt St., 77th Way S, 8th Ct. S, 8th Ave. S, 77th Ct. S, 77th Way S, Rugby Ave., 7th Ct. S, 7th Ave. S, and 78th St. S. This boundary is generally based on the boundaries of the following four National Register historic districts, which are existing National Register Historic Districts within the South East Lake neighborhood: Howard College Estates, Lakewood, South East Lake, and South Highlands of East Lake. At the request of the neighborhood's Historical Committee, a few properties not part of the National Register historic districts were surveyed and included within the local historic district boundary. Most of those properties are consistent with the period of significance for the district, and convey architectural features similar to the surrounding properties.

V. GENERAL PROCEDURE ON APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS & PROCEDURE ON WAIVERS FROM CERTIFICATES OF APPROPRIATENESS

As a result of South East Lake's designation as a local historic district, the City of Birmingham's Design Review Committee will hear design review cases for properties located within the South East Lake Local Historic District. The City of Birmingham has appointed its Design Review Committee (DRC), as established in Section 7-1-185 of the General Code of the City of Birmingham, 1980 as amended, to perform the duties and responsibilities of the Birmingham Historical Commission in accepting, considering, approving, approving as amended, or rejecting applications for Certificates of Appropriateness. The Design Review Committee is composed of eleven (11) members. Members are appointed by the City Council. Except for special meetings and holiday schedules, the DRC will meet the second and fourth Wednesday of each month at 7:30 a.m.. Prior to the DRC meeting, an Urban Design staff person will provide the property owner or his/her representative with a copy of the design guidelines for the district and a list of the exhibits needed for the presentation.

Local historic district designation mandates that no work that would change the exterior appearance of any building or structure in a local historic district should be undertaken, unless the owner has received a Certificate of Appropriateness (COA) by the City's Design Review Committee or a Waiver (of the COA) by the Department of Planning, Engineering and Permits.

When exterior work is proposed for a property, the applicant must submit proposed drawings, photographs and plans for the subject property to the Department of Planning and Engineering's Urban Design staff (on the 5th floor of City Hall) who will determine whether a waiver or a COA is necessary.

Waivers of the Certificate of Appropriateness Requirement

If staff determines that the proposed work *does not* change the external appearance of the building or structure (e.g., only interior repairs that do not change the exterior size or appearance of the building are being proposed), that the work proposed is routine maintenance, or that the work proposed otherwise complies with the District's Design Review Guidelines, staff will issue a waiver and so inform the Buildings and Inspections Division of the Department of Planning, Engineering and Permits in writing.

Certificate of Appropriateness Requirement

If staff determines that the proposed work *does* change the external appearance of the building, except in cases of routine maintenance as outlined in Section VIII.C herein, the applicant must apply for a Certificate of Appropriateness (COA) and staff shall schedule the applicant's case for a hearing before the City's Design Review Committee. The applicant shall be informed in writing of the time and place of the hearing. At the

scheduled DRC hearing, the applicant should present the applicable submittal requirements for local historic district design review cases.

Neighborhood Participation Requirement in the Design Review Process

In order to facilitate neighborhood participation in the design review process, local historic districts shall have the right to designate local historic advisory committees, the members of which shall be appointed by the Neighborhood Association in which all or the majority of the local historic district is located. The South East Lake Local Historic District desires to establish a Local Historic Advisory Committee (LHAC or Advisory Committee) to make recommendations to the City of Birmingham's Design Review Committee (DRC) on applications for Certificates of Appropriateness (COA) prior to the hearing of those applications by the City's Design Review Committee. The Local Historic Advisory Committee, in accordance with the City's Historic Preservation Ordinance (Ord. No. 92-223 as amended by Ord. No. 00-81), will be an advisory committee only, as the City's DRC has the sole authority to make the final decision on design review cases.

The Local Historic Advisory Committee shall have not more than seven (7) nor less than three (3) members. Whenever practicable, at least one member shall be a representative of the following professional groups: architects, building trade professionals, civil engineers, and real estate brokers or developers. The Advisory Committee shall follow and be bound by the same procedures and considerations as the DRC as set out in the City's Historic Preservation Ordinance for consideration of a Certificate of Appropriateness. Unlike the DRC, the Advisory Committee will not hear requests for consideration of economic hardship. Members of the Advisory Committee should be owners of properties located within the boundaries of the South East Lake Local Historic District.

Prior to the dates of scheduled Design Review Committee hearings for cases involving properties in the South East Lake Local Historic District, staff shall forward the cases to the South East Lake Local Historic Advisory Committee by notice to the Advisory Committee's designated contact person, officer, or representative. The designated contact person will schedule the applicant's case for a meeting of the district's Local Historic Advisory Committee. That meeting must be held prior to the City's Design Review Committee meeting for the subject property. Upon reviewing the design review case, the Advisory Committee shall make a recommendation to the City's Design Review Committee.

At the City's Design Review Committee hearing of each case in the Local Historic District, staff will present the DRC with the Local Historic Advisory Committee's recommendation. The DRC will hear the case. In order for the DRC to reverse, wholly or partly, or modify the recommendation submitted by the LHAC, a vote of two-thirds (2/3) majority of the DRC members present at the meeting to consider the case is required. If the application for a Certificate of Appropriateness is approved, the Design Review Committee, through its staff, can transmit to the owner a COA clearly stating the

work approved. If the COA application is not approved, the owner will be informed in writing of the reasons for the denial, and permits for the subject work will not be approved.

VI. APPEALS PROCEDURE (For Denial of Certificate of Appropriateness Applications)

In the event the Design Review Committee denies a Certificate of Appropriateness application, the procedures set forth in Sections 7-1-205 and 7-1-206 of the City's Historic Preservation Ordinance (No. 92-223, as amended by No. 00-81) shall be followed.

As outlined in said ordinance, the DRC shall state its reasons in writing and transmit such decision to the applicant and the Building Division. Any person having a request for a COA or COA with revisions denied by the DRC may:

A. Request a determination of economic hardship from the DRC.

In order for the DRC to consider the economic effect of denial of a Certificate of Appropriateness upon an individual property, the owner must demonstrate that such action will cause hardship so as to deprive him or her of a reasonable use of or return on the property.

The DRC may solicit expert testimony or may require the owner to make submissions concerning the nature of the work proposed. The DRC will consider all information presented and make a written determination within sixty (60) days of whether hardship and deprivation of reasonable use or return has been demonstrated.

Should the owner demonstrate hardship and deprivation of reasonable use of or return on the property, the City of Birmingham will review its options for providing financial incentives necessary to comply with the DRC's design review decisions. A determination shall be made within sixty (60) days as to whether financial incentives can be made available. If such incentives will not be available, the DRC shall notify in writing the owner and the Department of Buildings and Inspections that no COA is required.

B. Make modifications to his or her plans and resubmit the application for reconsideration at any time after doing so, and/or;

C. Make written appeal of such denial or denial of a finding of economic hardship first to the Birmingham Historical Commission within fifteen (15) days of the denial.

The BHC shall hear the appeal within thirty (30) days and shall render its opinion in writing within five working days after its decision and shall transmit such decision to the applicant and the Director of Buildings and Inspections. In the

event that the grievance remains unsatisfied, a final appeal may be filed with the circuit court of Jefferson County.

VII. ENFORCEMENT

Once a building permit is issued, construction must begin within six (6) months and be completed within eighteen (18) months after the COA has been issued. (Extensions of time may be obtained only after good cause is shown by the applicant). If construction does not begin within the stated time period, the COA shall expire and become void.

If construction begins and the work is not in compliance with plans approved by the DRC, then the Buildings & Inspections Division issues a stop work order, and plans that would bring building into compliance must be presented to the DRC.

If construction is completed and found to be in violation, then the owner is cited in writing and given thirty (30) days to bring property into compliance, or the owner must bring plans to the DRC and present sufficient justification for unapproved changes. If necessary after reviewing the unapproved changes, the DRC shall provide written directives as to how to rectify the violations and shall establish a deadline by which the building shall be brought into compliance.

VIII. PRESERVATION STRATEGY

The South East Lake Neighborhood Association has determined that preservation of the South East Lake neighborhood through local historic district designation is critical to the overall needs and goals for revitalization of the neighborhood. The neighborhood believes that local historic district designation, with its accompanying regulations and design guidelines, is the best way to protect property values as the designation allows for the review and regulation of rehabilitations as well as new construction projects, and the designation restricts demolition, demolition by neglect, and the destruction of public landscaping. In this way, the neighborhood believes it can protect the visual and historical integrity that defines the character of South East Lake.

A. Means By Which the Existence and Significance of the Historic District Will Be Publicized

Upon local designation, the South East Lake Neighborhood Association will notify property owners and the general public of the existence and significance of the historic district by regular announcement of the existence and significance of the district at neighborhood meetings, and by coordinating with local realtors and real estate companies who frequently do business in the area in order to inform new and potential owners of the designation.

B. Design Review Guidelines

The South East Lake Design Review Guidelines (also referenced as the “South East Lake Design Guidelines”) attached hereto will be used as the basis by which to review any appropriate activities in the historic district.

C. General Definition, Rights, and Obligations of Routine Maintenance

Routine Maintenance refers to those routine and minor repair items which do not require a Certificate of Appropriateness (COA). Repairs, such as painting of originally painted surfaces and in-kind replacement of rotted trim with trim that matches the original material and the original design, shall constitute routine maintenance. Routine maintenance repairs shall not require a COA, unless such repairs are part of a larger overall project. In addition, repairs to the interior of the structure shall not require a COA, as long as the proposed repairs do not change the external size or appearance of the building.

D. Means by which Technical Assistance Will Be Offered to Property Owners

Technical assistance from the historic preservation staff of the City of Birmingham’s Department of Planning, Engineering & Permits will be offered to property owners in the South East Lake Local Historic District in the event of questions concerning the design review procedure and guidelines and questions concerning possible investment tax credits and property tax reductions for income-producing historic properties.

E. Financial Incentives for Promoting Preservation Within the Local Historic District

The Birmingham Historical Commission and the staff of the Department of Planning, Engineering and Permits will work with the South East Lake Neighborhood Association to publicize the local historic district designation and its advantages and to provide property owners with information on potential financial incentives, when available.

50% State Property Tax Reduction

There is a valuable tax incentive available for owners of certain types of “income producing” historic buildings. Those buildings include commercial, industrial, or rental residential buildings that are individually listed in the National Register, listed as “contributing structures” to National Register historic districts, or determined by the Alabama Historical Commission (AHC) to be eligible for listing in the National Register. In Alabama, owners of income-producing historic buildings are eligible to have their state ad valorem property taxes assessed at 10% (the residential rate) rather than the usual 20%. That savings cuts state property taxes in half, amounting to a 50% property tax reduction. This

incentive is part of the Wallace Property Relief Constitutional Amendment or the “Lid Bill” found in Code of Alabama 40-8-1 Section 2.

In order to claim this credit, owners must 1) complete a Historic Preservation Certification Application Part I (Evaluation of Significance), which includes photographic documentation; 2) submit the Part I Application to the Alabama Historical Commission; and 3) if the Part I Application is approved, present the National Park Service certification (for properties within National Register historic districts) or the Alabama Historical Commission letter (for properties individually listed in the National Register or determined by the AHC as eligible for listing in the National Register) to the county tax assessor for reassessment of the property.

The Part I Certification Application may be obtained from the Alabama Historical Commission at (334) 242-3184 or downloaded from the following National Park Service website: <http://www.cr.nps.gov/hps/tps/tax/index.htm>. Do not proceed with work on the building before the application is approved. Contact the Alabama Historical Commission for questions and advice on completing the application, and consult a professional tax advisor for help in determining the tax details and other financial implications of this program.

25% State Rehabilitation Tax Credit

The following information, which is current as of 2020, is contained on the website of the Alabama Historical Commission at the following link: <https://ahc.alabama.gov/TaxIncentivesComparison/FactSheet.pdf>:

The Alabama Historic Rehabilitation Tax Credit is a 25% refundable tax credit available for private homeowners and owners of commercial properties who substantially rehabilitate historic properties that are listed in or eligible for the National Register of Historic Places and are 60 years old or older. Taxpayers filing a State of Alabama income tax return or entities exempt from federal income taxation who own title to a building or own a leasehold interest in a building for a term of 39 years or more may apply. Tax credits are capped at \$5 million for commercial properties and \$50,000 for residential homes. \$20 million in tax credits are available each tax year from 2018 to 2022. Excess tax credits will be carried forward each year. \$8 million of each year’s allocation will be set aside for rural communities for the first six months of the year. Eligible costs must exceed 50 percent of the owner’s original purchase price or \$25,000, whichever is greater. Work must follow the Secretary of the Interior’s Standards for Rehabilitation, which guarantee improvements will maintain a building’s historic character and integrity. The standards may be found at the following website:

<https://ahc.alabama.gov/FederalTaxCreditPDFs/TreatmentofHistoricPropertiesGuidelines-2017.pdf>. The state tax credit application is a three-step process. The AHC provides technical assistance on application procedures, appropriate rehabilitation work, and will visit properties as needed. The AHC will recommend

qualifying projects to the Historic Tax Credit Evaluating Committee who will rank projects in the order they are to receive tax credit reservations. Applicants must report progress of the project at 18 months and 36 months of receiving the reservation, and the project must be complete within 60 months. At the end of a project, owners submit a final application providing information on the completed project. If work complies with the Standards and all other requirements are met, the AHC issues a Tax Credit Certificate. Owners claim the tax credit in the tax year in which the building is placed in service. The credit is transferable only one time. Any unused portion of the tax credit is refundable.

20% Federal Rehabilitation Tax Credit

To help with the costs of restoring and preserving historic buildings, there is a federal historic preservation tax incentive program available to taxpaying owners of income-producing historic buildings listed in the National Register of Historic Places. Such buildings include commercial, industrial, and rental residential properties that are treated as income-producing by the IRS. Currently, there are no tax incentives for private, owner-occupied historic residences (that is, those residences not used for rental residential purposes).

Under the federal tax incentive, an owner of an income-producing building that is either individually listed in the National Register or listed as a “contributing” structure to a National Register historic district can apply for a 20% investment tax credit for exterior and interior rehabilitation work that is approved and certified by the National Park Service as being compatible with the historic character of the property and as meeting the Secretary of the Interior’s *Standards for Rehabilitation*. The rehabilitation costs must be substantial, which means that rehab expenses exceed the greater of \$5,000.00 or the adjusted basis of the building. The credit, which is applied directly against the owner’s federal income taxes, is for 20% of the total eligible rehabilitation cost.

Owners interested in seeking this credit may contact the Alabama Historical Commission (AHC) at (334) 242-3184 for the three-part application and more details on the credit. The application also can be downloaded from the following National Park Service website: <http://www.cr.nps.gov/hps/tps/tax/index.htm>. Before beginning rehabilitation work, owners must submit to the AHC Parts 1 and 2 of the application, which must be approved by the National Park Service. The Alabama Historical Commission or local consultants can provide guidance with the application and rehabilitation process. A professional tax advisor should be consulted for help in determining the tax details and other financial implications of the incentive.

Community Development Housing Programs

The City of Birmingham’s Community Development Department is the contact office for various grant and loan programs that may be available to qualifying

City of Birmingham residents whose homes are in need of home improvements and repairs. Those programs, which are outlined below and are sponsored by the U.S. Department of Housing and Urban Development (HUD), include the Deferred Loan, Rehabilitation Loan, and Critical Repair Grant programs, all of which are designed to provide a means for eligible residents to bring their homes up to City Housing Code standards. The following programs were in existence prior to the adoption of the South East Lake Local Historic District.

Deferred Loan Program

- Loans up to a maximum of \$15,000 at zero percent interest with payment deferred until the occurrence of one or more of the following events:
 - A. Death of the original borrower
 - B. Vacation of the property by original borrower
 - C. Sale or transfer of title by original borrower.
- All loans secured by a mortgage placed upon the property in no less than second position
- Must be owner occupied
- Must be elderly (62+) or disabled and at or below 50% of the median family income level for Birmingham set by HUD to qualify
- Must allow Lead-Based Paint hazard risk assessment and must address identified hazard (pre-1978 housing)
- Matching grant funds may be available to cover Lead-Based Paint hazard reduction costs

Rehabilitation Loan Program

- Loans up to a maximum of \$40,000 at two percent interest with repayment terms up to twenty years
- All loans secured by a mortgage placed upon the property
- Must be owner occupied
- Must be at or below 80% of the median family income level for Birmingham set by HUD
- Must address Code deficiency items first
- Must allow Lead-Based Paint hazard risk assessment and must address identified hazards (pre-1978 housing)
- Matching grant funds may be available to cover Lead-Based Paint hazard reduction costs

Critical Repair Grant Program

- Grants up to a maximum of \$15,000 for eligible “critical” repairs in the following categories:
 - A. Roof
 - B. Plumbing
 - C. Electrical
 - D. Heating & Air (HVAC)
 - E. Foundation/Structural

- Must be at or below 30% of the median family income level for Birmingham set by HUD
- Must be owner occupied
- Must not disturb any painted surface

For additional information on the above programs and on whether the programs are still being offered, residents should contact the Housing Division of the City of Birmingham’s Department of Community Development at 205/254-2312.

F. Measures to Encourage Economic Activity and Development Conducive to Preservation within the Local Historic District

The Birmingham Historical Commission and the Department of Planning, Engineering & Permits will stay abreast of activities, including grant and loan programs, that could encourage economic activity and development conducive to preservation within the South East Lake Local Historic District, will educate property owners on the advantages of local historic district designation, will answer questions related to the application of the adopted design guidelines, and will educate and advise property owners about possible financial incentives (federal tax credits and state property tax reductions) for historic preservation.

DEFINITIONS

Alteration – Any act or process that changes one or more of the exterior architectural features of a structure, including, but not limited to, the erection, construction, expansion, rehabilitation, reconstruction or removal of any structure.

Appropriate – A proposed activity that is consistent with the design guidelines.

Certificate of Appropriateness (COA) – A certificate from the Design Review Committee indicating its approval of plans for alteration, construction, removal or demolition of the exterior features of a structure which is individually designated as historic or is a structure within a historic district

Construction – The act of adding to an existing structure or the erection of a new principal or accessory structure on a lot.

Contributing Resource – A building, site, structure, or object adding to the historic significance of a property and retaining architectural integrity.

Demolition – The razing or destruction, whether entirely or of the defining historical elements, of a building, structure, or site. Demolition also includes the removal of a building or structure from its site or the removal or destruction of its façade.

Demolition by Neglect – Failure to comply with the Minimum Property Standards, as established by building and housing regulations and ordinances of the City.

Designation – The legal recognition by ordinance of a property or district as historic by action of the Birmingham City Council.

Exterior Architectural Appearance – The architectural character and general composition of the exterior of a structure, including but not limited to the kind and texture of the building material, and the type and character of all windows, doors, landscape elements, light fixture, signs and appurtenances.

Inappropriate – A proposed activity that is not consistent with the design guidelines and may result in the withholding of a Certificate of Appropriateness.

Integrity – Authenticity of a property's historic and architectural identity, evidenced by the survival of physical characteristics that existed during the property's historic period of significance

Non-contributing Structure – A building, site, structure, or object that does not add to the historic significance of a property and/or does not retain architectural integrity.

Preservation – To sustain the existing form, integrity, and material of a building or structure.

Reconstruction – The process of reproducing by new construction the exact form and detail of a vanished building, structure or object, as it appeared during a specified time period.

Rehabilitation – The act or process of returning a property to a state of utility through repair or alteration while preserving those features of the property which are historically, architecturally, or culturally significant.

Repair – Any change that is not construction, removal or alteration.

Restoration – The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time through the removal of later work or by the replacement of missing earlier work.

Routine Maintenance – Minimum repairs to a building structure, or object for which no Certificate of Appropriateness is required as adopted by the Design Review Committee for the district in which the property is located.

Structure – Anything constructed or erected, the use of which requires permanent or temporary location on or in the ground, including but not limited to buildings, fences, gazebos, signs, billboards, back stops for tennis courts, swimming pools and radio and television antennae, including supporting towers.

STANDARD DESIGN GUIDELINES

The purpose of this document is to outline design guidelines that serve as a tool to provide guidance for the protection, preservation, and promotion of the historic and architectural character of the historic district. The historic district will protect its rich architectural heritage by requiring sensitivity to the original design, materials, character, and craftsmanship of existing structures that are undergoing repair and restoration. It is equally important that the same sensitivities be observed in new construction of residential, recreational, commercial, and other properties. Therefore, this document provides guidance for those projects as well.

General Standards of Review for Residential and Non-Residential Properties:

1. Every reasonable effort shall be made to use a property for its originally intended purpose or to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment.
2. The distinguishing original qualities or character of a building, structure, or site and its landscape features shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity and reviewed with particular emphasis on preservation of the features.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, supported by historic, physical, or pictorial evidence rather than conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods, such as high pressure water, that will damage the historic building's materials shall not be undertaken.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, quality of craftsmanship, and character of the property, neighborhood, or environment.
10. New additions or alterations to a structure shall be constructed in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

I. Design Guidelines for Existing Residential Properties

Among the many contributing houses in the South East Lake Local Historic District, diverse house styles are represented. Those styles that are part of the local historic district's period of significance (1888-1952) include Minimal Traditional, Tudor Revival, American Foursquare, Craftsman/Bungalow, Colonial Revival, Spanish Revival, L-cottage, T-cottage, Modern, and Ranch, among others.

The following standards shall generally apply to existing residential structures (i.e., not new/infill residential construction and not additions) in the South East Lake Local Historic District:

Note: The illustrations included in this document are for instructive purposes only and are not intended to serve as specific design solutions.

A. Awnings

Awning material, color, and style shall be compatible with the age and style of the original structure. Aluminum awnings will generally not be approved except where stylistically appropriate –that is, post-1940 homes.

B. Chimneys

Repair to chimneys shall be with matching materials. Use matching brick and mortar when repairing and maintaining chimneys.

C. Decks

Decks are not appropriate at the front or side of the house.

D. Demolition

Demolition of a building or structure listed on the National Register of Historic Places as a contributing structure is prohibited, unless the property is in a

condition deteriorated beyond the point of reasonable repair, or has suffered structural damage that affects the majority of the building or structure.

E. Doors

Original doors, frames, hardware, and glass shall be retained and maintained where possible since original doors help to define a house’s architectural style and therefore are of great importance to the preservation of a historic structure. Repair in accordance with the original design is preferred over replacement.

When repair of original doors, frames, hardware, and glass is not possible due to extreme deterioration, replacements should match the original design or be consistent with the architectural style of the home. Deteriorated or missing frame, hardware, and glass shall be replicated in kind with new pieces to match the original ones.

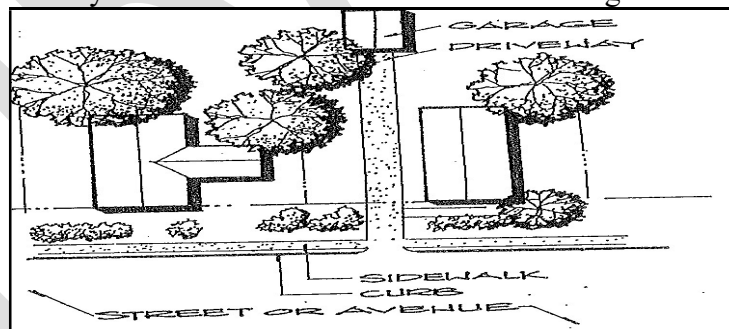
Transoms and sidelights shall be repaired and maintained. Enclosing or covering of transoms, doors, and sidelights shall not be permitted.

F. Driveways

Install residential driveways in a manner and width compatible with those historically installed, generally not wider than ten feet and also in compliance with the City’s Zoning Ordinance.

Locate driveways to the side and rear of the main building.

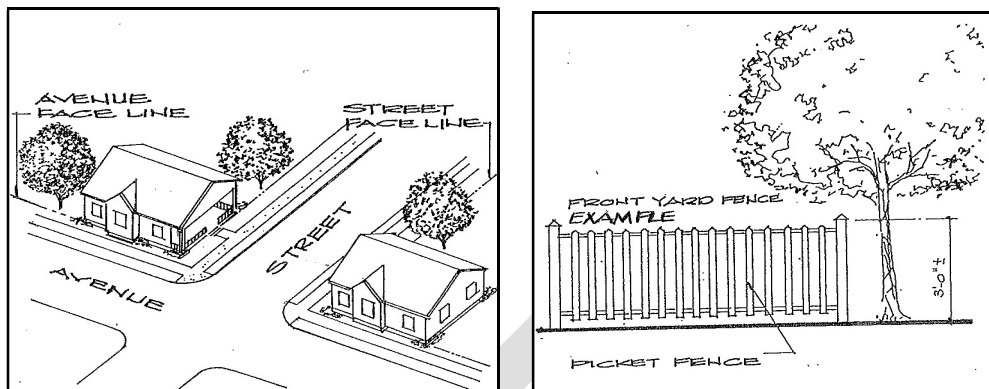
Extend all driveways to at least the rear of the main building.



G. Fencing

Fencing shall be appropriate to the period of the house and district and shall be in compliance with zoning regulations. Materials used for fencing shall be consistent with those originally used in the district. The use of chain link and solid wood fencing in the front yard, or in the rear or side yard that is visible from the public roadway, shall not be allowed.

Avoid solid fences along corner property lines as corner lots have two building face lines that must be observed, as shown in the left illustration below.



Rear and side yard fences and animal enclosures that are visible from the public roadway shall be complementary to the historic character of the district.

Appropriate (based on the period of the house & the fence location):

- Wood or wrought iron fence

Inappropriate:

- Chain link fence

H. Foundations

Original foundation materials shall be maintained and repaired when necessary.

Exposed concrete block foundations must be faced with materials appropriate to the period and design of the structure.

Appropriate (based on the period & design of the house):

- Brick
- Stuccoed or bricked concrete block

Inappropriate:

- Exposed concrete block
- Plywood or mineral board panels
- Metal infill
- Plastic or vinyl sheeting
- Imitation brick or stone
- Vinyl lattice

I. Gutters and Downspouts

The size and profile of gutters and downspouts shall be appropriate to the house.

When replacement downspouts are needed, they shall be installed to channel water away from the foundation to prevent moisture damage.

Gutters and downspouts shall be painted to blend with other trim on the building.

J. Handicap Accessibility Features

Ramps and other items aiding accessibility and safety of handicapped persons shall complement the character and material of the structure where possible and practical, so as not to detract from the building's character, defining facades, features, and finishes.

Locate handicapped ramps to the side or rear of the main building, insofar as practicable and in conformance with the Americans with Disabilities Act.

Locate fire doors, exterior fire stairs, and elevator additions on the rear or on non-character defining facades.

Landscaping can be used to camouflage and integrate the new handicapped features with the existing building.

Design and construct handicapped ramps so that the required slope is confined to as small an area as practicable and installed so as to be removed without damage to the structure.

K. Materials

In the South East Lake Local Historic District, the primary form of construction is wood frame. Exterior wall material ranges from simple weatherboard and wooden shingles to brick veneer and stucco.

Rehabilitation, restoration, and reconstruction projects should use a traditional building material, similar in size and physical appearance to the original construction.

Alternative materials shall not be used unless such materials visually replicate the original exterior in appearance, dimensions, texture, etc. to every degree possible. However, replacement or covering of original siding material with artificial or synthetic siding such as aluminum or vinyl is discouraged. Aluminum and vinyl siding can change the visual character of a building and can conceal underlying problems such as moisture penetration, decay, and insect infestation. Repair or replacement of damaged siding with original siding material is encouraged when appropriate, but it shall not be required that asbestos-based or any other hazardous types of siding should be replaced.

Use appropriate surface treatments such as gentle cleaning, limited paint removal/hand scraping, and area-application of a protective coating system to protect and maintain the structure's original masonry and wood. Avoid sandblasting, high pressure water washing, and using abrasive materials when preparing masonry surfaces.

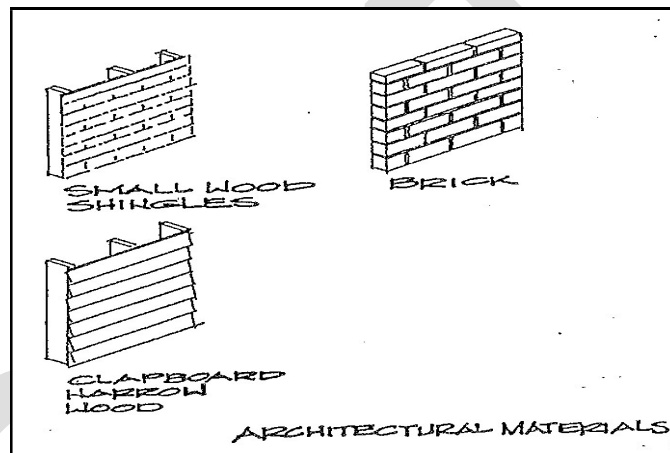
Appropriate (based on the original design of the house)

- Wood siding or an alternative (other than vinyl or aluminum) that visually replicates the original exterior

- Weatherboard
- Brick
- Stucco
- Rubble stone

Inappropriate:

- Aluminum siding
- Vinyl siding



L. Paint

Paint colors may be reviewed as part of a renovation project. Colors shall be compatible with the age and style of the house.

Remove paint using hand scraping.

Do not sandblast wood siding or brick under any circumstances. Circular sanding is also not recommended.

Previously unpainted brick shall not be painted except in cases where repair has been so extensive as to be visually distracting.

Previously unpainted stone shall never be painted.

Previously painted brick and stone may be repainted, but natural colors that resemble the original brick or stone color should be used.

M. Parking

Parking pads in the front of the house are discouraged.

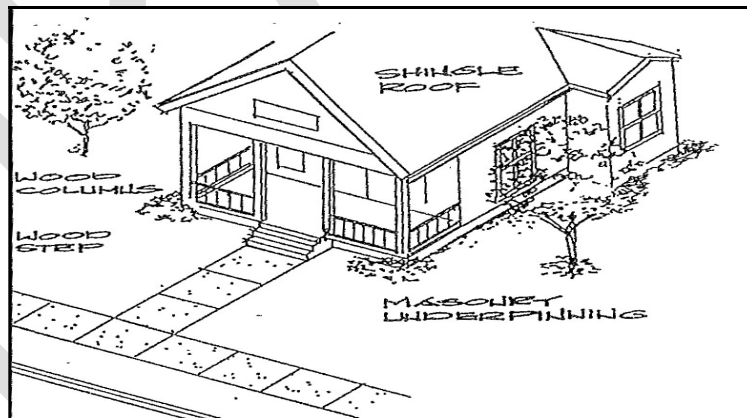
N. Porches (primary)

Entrances and entrance features such as doors, fanlights, sidelights, pilasters, entablatures, columns, balustrades, and stairs help to signify the age and define the overall historic character of a building, and therefore should be retained and preserved.

Maintain the historic design and character of existing porch structures. Deteriorated frame porch elements shall be repaired where needed. If replacement is necessary, it shall be with matching wood pieces or other matching materials based on historical documentation through photographs and other means.

Enclosing porches that open onto principal streets is not recommended. Enclosures at secondary locations that are not readily visible from the street are acceptable. Enclosing a porch with glass or screening is discouraged. Screening or glass shall not cover or obscure original elements such as rails, framing, balusters and columns. Framing for the enclosure shall be in keeping with the structure in terms of style and material.

Existing historic porch stairs shall be retained and repaired or, if repair is not possible, replaced with matching materials in an essentially similar design based on documentation of historic conditions.



O. Rain Water Collection

Rain water collection systems shall not be visible from the street.

P. Repointing Masonry

Masonry repair, replacement or repointing should match the original work in material, color, texture, workmanship and character. Repointing with inappropriate mortar can have both visual and physical consequences. The use of mortars with a high Portland Cement content or the use of most ready-mix mortars are generally inappropriate for historic masonry. Such mortars are typically harder than the surrounding masonry or stone materials and can result in considerable damage over time. Masonry sealants such as silicone based products or the application of stucco over existing surfaces are typically not appropriate.

Q. Retaining Walls

In the Lakewood and South Highlands of East Lake sections of the South East Lake Local Historic District, the topography allows for some of the lots to have retaining walls. The original retaining walls are constructed primarily of cobblestone.

Original retaining wall materials shall be maintained and repaired when necessary. Exposed concrete block retaining walls must be faced with materials appropriate to the period and design of the structure.

Appropriate (based on the period & design of the house):

- Rubble stone
- Brick
- Concrete block with stucco or brick veneer
- Cut stone

Inappropriate:

- Exposed/unfinished concrete block

R. Roofs

Historic roof materials shall be repaired and maintained where possible.

When replacement of the existing roof materials is necessary due to deterioration, roof materials on any permanent structure shall be historically accurate or shall appear to be historically accurate based on the original materials and architectural style of the house.

A porch roof shall match the materials of the house roof proper except in the interest of preserving historical materials original to the home.

The design character of the roof should be maintained. Gable and hipped roofs are common to the neighborhood. Alteration of the historic roof form (*i.e.*, the original roof shape and pitch) shall not be permitted, except in conjunction with an approved addition.

Examples of Appropriate Roof Materials (only if the proposed material is historically accurate based on the roof material at the time of the original construction of the house, as well as the architectural style of the house):

- Asphalt or fiberglass shingles
- Slate
- Terra Cotta Clay Tiles
- Wood shingles
- Metal shingles or standing seam metal
- Concrete shingles

Examples of Inappropriate Roof Materials:

- Asphalt roll roofing
- Built-up or membrane roofing
- Corrugated sheet metal roofing

S. Solar/Skylight Additions

Solar equipment, skylights, and solar tubes shall not be visible from the street.

T. Storm Windows

Storm windows shall not obscure original window proportions. Storm windows shall be single pane to leave visible the original sash configuration, or if storm windows are double hung in appearance, the muntin bar shall match the placement of the original window muntin bar. Storm windows that have horizontal rails shall match the profile of the rails of the original window.

Storm windows shall be finished with a baked enamel finish to match the color of the window trim wherever feasible.

Appropriate:

- Wood
- Metal with baked enamel or anodized finish to match sash color
- Mill finish aluminum

Inappropriate:

- Vinyl

U. Trim (decorative)

All historic trim shall be repaired and maintained. Any elements of the trim which become deteriorated shall be repaired or replaced with new pieces that match the original design and proportions.

Trim which is not appropriate to the historic house style or design shall be discouraged.

Window cornices shall not be removed.

V. Windows

The windows of an historic home are an important feature of the home's architecture. For that reason, every effort should be made to preserve and maintain original windows, including the original opening, window frame, sash, and sill.

Repair windows in accordance with the original window design. Repair and maintenance shall include replacing broken panes with new panes to match, repair and replacement of deteriorated frame elements with new frame to match, and painting.

Replacement of entire windows shall be discouraged. However, where window replacement is unavoidable because of deterioration, new sashes, frame units, and sills are to match the original window in terms of material, style, light pattern (design), construction, and proportions (see illustration below).



Window proportions have been altered from the acceptable example above.

Wood windows or metal clad wood windows (with true divided lights or simulated divided lights if historically accurate) are acceptable. Replacement windows with between-the-glass muntins are not acceptable, nor are vinyl windows or vinyl clad wood windows.

Alternative means of reducing energy consumption, such as interior or exterior storm windows, shall be encouraged.

Appropriate:

- Wood windows
- Metal clad wood windows
- True divided light windows
- Simulated divided lights (if historically accurate)
- Steel-framed windows where originally installed
- Aluminum windows where originally installed (modern-era houses)

Inappropriate:

- Vinyl windows
- Vinyl clad wood windows

- Between-the-glass muntins
- Aluminum windows where not originally installed

W. Window Shutters

Original shutters shall be repaired and maintained in working order where possible. Deteriorated shutter elements shall be repaired or replaced with new wood to match.

In cases of extreme deterioration, original shutters shall be replaced with new shutters that match the originals in size, shape, and configuration. New shutters shall work or appear to work.

X. Yards and Landscape

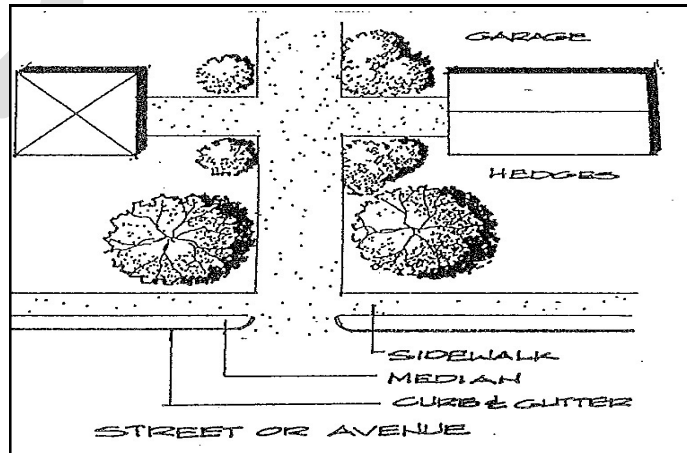
Throughout the South East Lake Local Historic District, there is the typical Southern flora, such as varieties of oak, pecan, dogwood, pine, and sweet gum. Lots are embellished with attractive landscaping, and sidewalks and curbs dominate the neighborhood.

Landscaping on private property shall attempt to maintain the mature historic character of the area, especially in regard to trees. Every effort shall be taken to preserve original landscape elements, including retaining walls and steps, and to maintain the tree canopy of healthy trees on private property.

Significant alterations to existing healthy tree canopy are discouraged. Mass cutting is detrimental to the quality and character of the area.

Active replanting and re-landscaping to maintain overall tree canopy are encouraged.

The City of Birmingham's Public Works Department shall be consulted concerning the removal of any tree in the public right-of-way.



II. Design Guidelines for New Residential Construction (In-fill Housing) and Additions to Existing Residential Properties

The following standards shall generally apply to the construction of new/in-fill residential structures and to the construction of new additions to existing residential structures in the South East Lake Local Historic District:

A. Additions

Any additions shall be in keeping with the character and architectural style of the original house design, including the design of such features as windows, doors, roofing, and exterior wall materials. It is important to maintain the integrity of the original façade.

Size, scale, massing, orientation, and setbacks shall be consistent with the main structure and the immediately surrounding properties.

Design and construct additions in such a manner that, if the change were to be removed in the future, the essential form and integrity of the original structure would not be impaired.

Locate additions so they will not obscure or damage significant architectural features, ornament, or detail.

Place additions to the side or rear, or set back slightly from the building front so as to be visually subordinate to the building and so as not to alter the historic rhythm of building fronts.

Site plans for additions shall be sensitive to and compatible with adjacent properties and structures and shall minimize changes to natural site topography

B. Architectural Style

The street façade is visually significant to the historic character of a street. New construction should employ façade designs that are architecturally compatible with existing historic structures.

So that they appear to be congruous with the majority of the houses within the neighborhood, infill houses shall be similar in architectural design and character to a style represented among the district's contributing housing stock. Those styles are as follows:

South East Lake - Queen Anne (earliest houses constructed in the SEL District date from the late 1880s), Craftsman/Bungalow, Tudor, Colonial Revival, Spanish Revivals, Art Moderne, Romanesque Revival, and various vernacular forms such as pyramidal roofed and L and T cottages

South Highlands of East Lake - Tudor Revival, Colonial and Spanish Revival, Craftsman/Bungalow, Vernacular Pyramidal Roofed, Minimal Traditional, Ranch, Split-Level, L-cottage, T-cottage, and Modern

Howard College Estates - Tudor Revival, Colonial and Spanish Revival, Craftsman/Bungalow, Minimal Traditional, Ranch, and Modern

Lakewood - Tudor, Colonial and Spanish Revival, Craftsman/Bungalow, Minimal Traditional, Ranch, and Modern

New construction should reference predominant design characteristics that make the area distinctive, while still reflecting creative design solutions that are more than just mere imitations of existing buildings.

In terms of materials and craftsmanship, infill houses shall be of a quality comparable to the local historic district's original homes.

C. Awnings

Awning material, color, and design shall be compatible with the style of the structure.

Aluminum awnings will generally not be approved except in the case of already existing post-1940 houses.

D. Chimneys

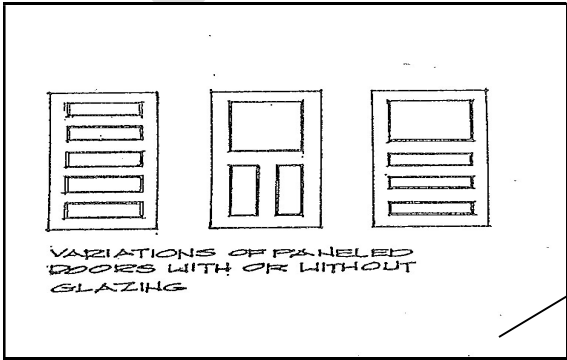
Chimneys shall be of brick or stone.

E. Decks

Decks are not appropriate at the front or side of the house.

F. Doors

Doors shall conform to the style of the house.



Note: These styles are only illustrative and are not intended to represent the styles of existing doors on homes within the district or the styles of doors that can be placed on homes within the district.

G. Driveways

Install residential driveways in a manner and width compatible with those historically installed, generally not wider than ten feet and also in compliance with the City's Zoning Ordinance.

Locate driveways to the side and rear of the main building.

Extend all driveways to at least the rear of the main building.

H. Fencing

Fencing shall be appropriate to the style of the house and district and shall be in compliance with zoning regulations. Materials used for fencing shall be consistent with those originally used in the district. The use of chain link and solid wood fencing in the front yard, or in the rear or side yard that is visible from the public roadway, shall not be allowed.

Avoid solid fences along corner property lines as corner lots have two building face lines that must be observed.

Rear and side fences and animal enclosures that are visible from the public roadway shall be complementary to the historic character of the district.

Appropriate (based on the house style & fence location):

- Wood or wrought iron fence

Inappropriate:

- Chain link fence

I. Foundations

Foundation materials for additions and new construction projects shall be consistent with the architectural style of the primary or proposed structure and with the foundation materials found on similar historic structures within the district. Exposed concrete block foundations must be faced with materials appropriate to the period and design of the structure.

Appropriate (based on the period & design of the house):

- Brick
- Stuccoed or bricked concrete block
- Stone

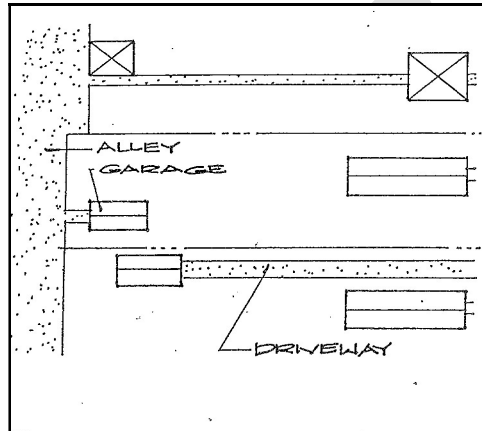
Inappropriate:

- Exposed concrete block
- Plywood or mineral board panels
- Metal infill
- Plastic or vinyl sheeting
- Imitation brick or stone
- Lattice

J. Garages and Permanently Detached Accessory Structures

Throughout the South East Lake Local Historic District, all lots back up to common alleys, and residences are uniformly set close to the street with secondary structures located to the rear along common alleyways.

New construction of garages must be located at the rear of the parcel on which the house is located, and must be subordinate to the main structure, as shown in the illustration below.



Any new, permanently detached structures shall be in keeping with the original character of the main house design.

Massing and setbacks shall be consistent with that of the immediately surrounding properties.

Site plans for permanently detached structures shall be sensitive to and compatible with adjacent properties and structures and shall minimize changes to natural site topography.

K. Gutters and Downspouts

The size and profile of gutters and downspouts shall be appropriate to the style of the house.

Downspouts shall be installed to channel water away from the foundation to prevent moisture damage.

Gutters and downspouts shall be finished to blend with other trim on the building.

L. Handicap Accessibility Features

Ramps and other items aiding accessibility and safety of handicapped persons shall complement the character and material of the structure where possible and practical.

Locate handicapped ramps to the side or rear of the main building, insofar as practicable and in conformance with the Americans with Disabilities Act.

Design and construct handicapped ramps so that the required slope is confined to as small an area as practicable and installed so as to be removed without damage to the structure.

M. Materials

In the South East Lake Local Historic District, the primary form of construction is wood frame. Exterior wall material ranges from simple weatherboard and wooden shingles to brick veneer and stucco.

New construction projects and additions should use a traditional building material, similar in size and physical appearance to the original materials used on houses in the district.

Alternative materials shall not be used unless such materials visually replicate the original exterior in appearance, dimensions, texture, etc. to every degree possible. Exterior siding materials shall visually replicate siding originally found on contributing structures in terms of appearance, dimensions, texture, etc. Vinyl, aluminum, or corrugated metal siding is not recommended.

Materials of garages and outbuildings should be similar to that of the main structure.

Appropriate (based on the original design of the house)

- Wood siding or an alternative (other than vinyl or aluminum) that visually replicates the original exterior
- Weatherboard
- Brick
- Stucco
- Rubble stone

Inappropriate:

- Aluminum siding
- Vinyl siding

N. Paint

Paint colors may be reviewed as part of a project. Colors shall be compatible with the style of the house being represented.

Garages should be painted to match the main structure.

O. Parking

Parking pads in the front of the house are discouraged.

P. Rain Water Collection

Rain water collection systems shall not be visible from the street.

Q. Retaining Walls

In the Howard College Estates, Lakewood, and South Highlands of East Lake sections of the South East Lake Local Historic District, the topography allows for some of the lots to have retaining walls. The original retaining walls are constructed primarily of stone and cobblestone.

New retaining walls shall be constructed of similar materials as those on existing retaining walls within the district – that is, rubble stone, brick, concrete (with a veneer, such as stucco or brick, applied), or cut stone.

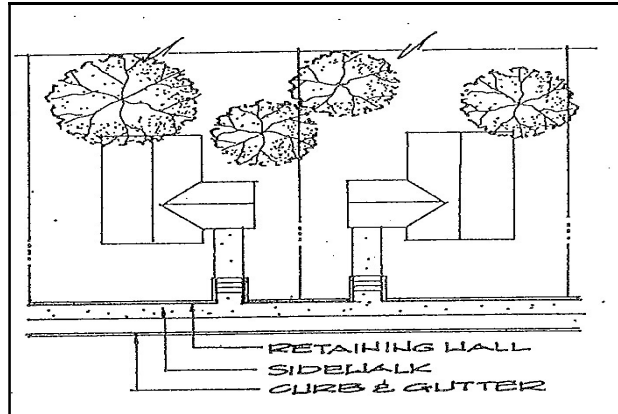
If located in the front of the property, retaining walls shall be located behind the sidewalk and only high enough for normal sloping to the residence.

Appropriate (based on the period & design of the house):

- Rubble stone
- Brick
- Concrete block with stucco or brick veneer
- Cut stone

Inappropriate:

- Exposed/unfinished concrete block



R. Roofs

In the South East Lake Local Historic District, roofing materials primarily include asphalt shingles and terra cotta clay tiles. Roof materials on any permanent structure shall be historically accurate or shall appear to be historically accurate based on the architectural style being represented.

Corrugated sheet metal roofing shall not be used. Metal shingles or standing seam metal roofs are acceptable if historically accurate based on the architectural style being represented.

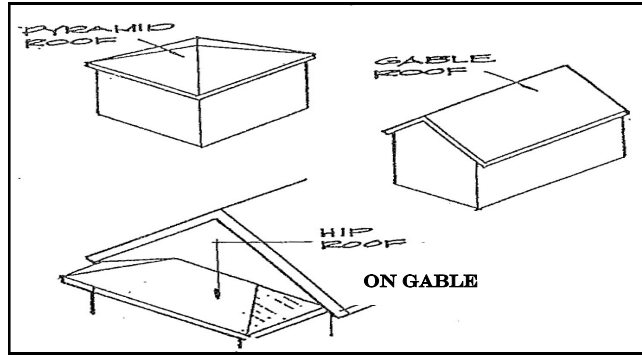
Roof forms for additions should be compatible with the historic roof and should be visually secondary to the principal roof.

Examples of Appropriate Roof Materials (only if the proposed material is historically accurate based on the original roof material on the house, as well as the architectural style of the house):

- Asphalt or fiberglass shingles
- Slate
- Terra Cotta Clay Tiles
- Wood shingles
- Metal shingles or standing seam metal
- Concrete shingles

Examples of Inappropriate Roof Materials:

- Asphalt roll roofing
- Built-up or membrane roofing
- Corrugated sheet metal roofing



S. Size, Scale, Massing, Orientation, and Setback

General Guideline: In terms of size, scale, massing, orientation, and setback, in-fill houses and additions shall conform to and be consistent with dominant patterns of size, scale, massing, orientation, and setback of the existing historic and immediately surrounding housing stock within the district and shall be in compliance with the Zoning Ordinance of the City of Birmingham.

Definition: Proportion (size) is the relationship of one dimension to another; for example, the relationship of the height to the width of a building, or the height and width of windows and doors.

In South East Lake, lot sizes are generally 50'x165'. In South Highlands of East Lake, residential lots are random sizes generally ranging from 50' to 60' in width and 96' to 125' in depth. In Howard College Estates and Lakewood, lot sizes are random but typically range from 50' to 60' in width and 96' to 125' in depth.

Guideline: Individual elements of a building should be proportional to each other and the building. New construction should be consistent with adjacent buildings in proportions of width to height.

Definition: Scale refers to the apparent relationship between two entities, such as the relationship of a building's height to human height, the relationship between different buildings' heights and sizes, or the relationship between the size of an addition and the building to which it is attached. In a historic district, the two most important issues are (1) the relationship of new construction to structures in the area of influence, and (2) the relationship of additions to the building to which they are being added.

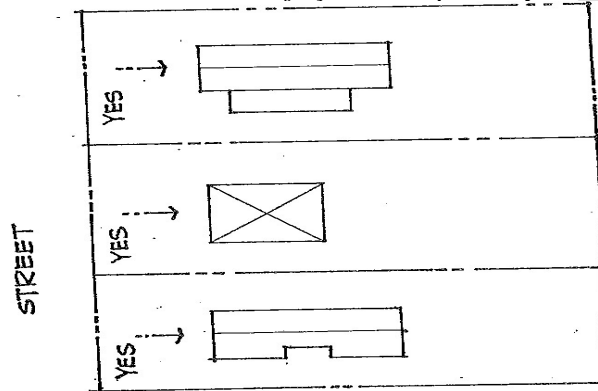
In the South East Lake section of the local historic district, generally, the dwellings are modest in terms of scale, materials, and design. In South East Lake and South Highlands of East Lake, the majority of structures are generally one story or one and a half story structures. In Howard College Estates and Lakewood, most dwellings are one story; however, there are some one and a half and two story dwellings.

Guideline: In terms of scale, additions should not appear to overwhelm the existing building.

Definition: Massing has to do with the way in which a building's volumetric components (i.e., main body, roof, bays, overhangs, and porches) are arranged and with the relationship between solid wall surfaces and openings.

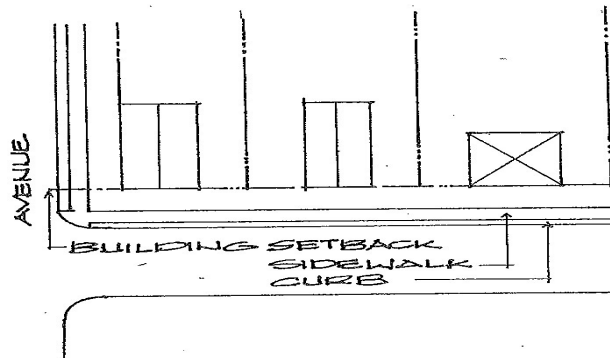
Definition: Building orientation refers to the directional placement of the building on the site, as shown in the example below.

Guideline: The main façade and primary entrance should face the street.



Definition: Setback refers to how far back the building is located from the street and side lot lines, as illustrated below.

In the South Highlands of East Lake Local Historic District, residences are uniformly set close to the street.



Guideline: Maintain the historical pattern of building setbacks, which establishes a consistent spacing and repetition of facades and provides a cohesive composition of the streetscape.

T. Solar/Skylight Additions

Solar equipment, skylights, solar tubes, and satellite dishes shall not be visible from the street.

U. Storm Windows

Storm windows shall not obscure original window proportions. Storm windows shall be single pane to leave visible the original sash configuration, or if storm windows are double hung in appearance, the muntin bar shall match the placement of the original window muntin bar. Storm windows that have horizontal rails shall match the profile of the rails of the primary windows.

Storm windows shall be finished with a baked enamel finish to match the color of the window trim wherever feasible.

Appropriate:

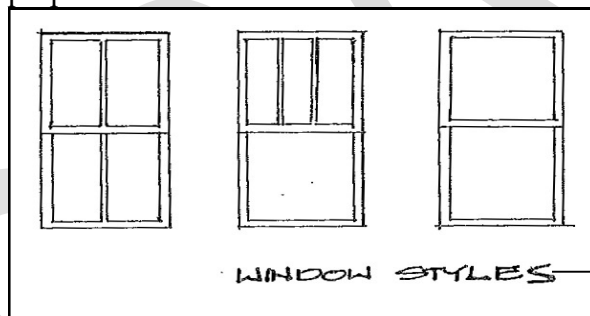
- Wood
- Metal with baked enamel or anodized finish to match sash color
- Mill finish aluminum

Inappropriate:

- Vinyl

V. Windows

Windows with between-the-glass muntins are not acceptable. Window sizes and proportions shall be similar to those within the existing historic housing stock.

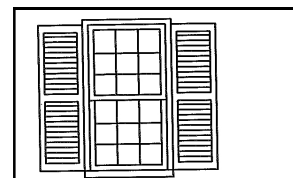


Note: These styles are only illustrative and are not intended to represent the styles of existing windows on homes within the district or the styles of windows that can be placed on homes within the district.

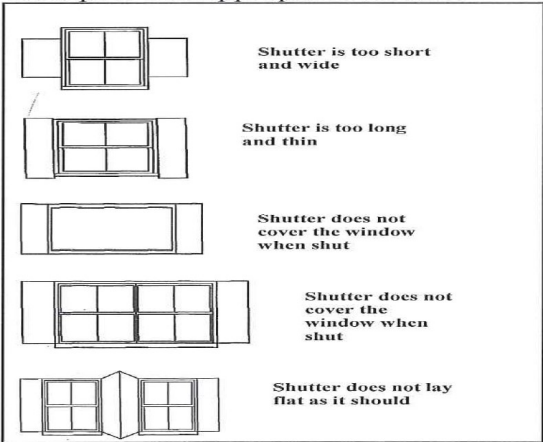
W. Window Shutters

Shutters shall be proportional to the window opening, and shutters shall work or appear to work.

Example of an Appropriate Shutter that fits over the window and thus covers the window when shut



Examples of Inappropriate Shutters



X. Yards and Landscape

Landscaping on private property shall attempt to maintain the mature historic character of the area especially in regard to maintaining the tree canopy of healthy trees.

Every effort shall be made to preserve original landscape elements, including retaining walls and steps. Active replanting and re-landscaping to maintain overall tree canopy are encouraged.

Significant alterations to the existing healthy tree canopy are discouraged. Mass cutting is detrimental to the quality and character of the neighborhood.

The City of Birmingham's Public Works Department shall be consulted concerning the removal of any tree in the public right-of-way.

III. Design Guidelines for Existing Non-Residential Properties

The following standards shall be applied to all existing non-residential structures in the South East Lake Local Historic District.

A. Building Fronts, Sides, and Rears Abutting Streets or Public Areas

All structural and decorative elements of building fronts, sides, and rears abutting and/or visible from streets or public improvements shall be repaired or replaced to match as closely as possible the original materials and construction of that building. Rotten, deteriorated, or weakened elements shall be replaced. Repairs and replacements shall match as closely as possible the original.

B. Windows

- (1) Windows not in the front of buildings shall be kept properly repaired or, with Fire Department approval, may be closed, in which case sills, lintels, and frame must be removed and the opening properly closed to be compatible with the adjacent wall.
- (2) All windows must be tight fitting and have sashes of proper size and design to be compatible and harmonious with the scale and character of the structure. Modernizations which reduce or enlarge window openings from the original, or significantly change the original fenestration, are not permitted. Sashes with rotten wood and/or deteriorated metal, broken joints, or loose mullions or muntins shall be replaced. All broken and missing window glass shall be replaced with new glass or approved glazing materials.
- (3) Window openings in upper floors of the front of the building shall not be boarded up and shall not be filled without prior approval by the Design Review Committee. Window panes shall not be painted.
- (4) If ceilings, partitions, or other interior elements terminate inside the window area and are visible through the window from the exterior, they shall be stopped short of the glass and the exterior edge or face shall be treated in such a manner so as not to be obvious from the exterior. Boxes, crates, *etc.* shall not be stacked inside windows unless concealed by shutters, blinds, drapes, or other appropriate window covering.

- (5) Windows shall not be painted for advertising purposes, but may be painted for authorized identification of the place of business as authorized by the Design Review Committee and in accordance with Section K, "Signs."

C. Storefronts

- (1) A storefront shall include the building face, show windows, porches, and entrance area leading to the door, sidelights, transoms, display platform devices, including lighting and signage designed to be viewed from the public right-of-way.
- (2) Show windows, entrances, signs, lighting, sun protection, porches, security grilles, *etc.* shall be compatible and harmonious with the scale and character of the structure. All storefront elements must be located within fourteen (14) feet of grade unless original storefront elements exceeded fourteen (14) feet in which case, subject to review and approval by the Design Review Committee, they may remain at the original height.
- (3) Show windows shall not be painted for advertising purposes, but may be painted for authorized identification of the place of business if approved by the Design Review Committee, and in accordance with Section K, "Signs."
- (4) Show window trim, mullions, or muntins not consistent or compatible with overall facade design shall be replaced or painted in a manner complementary to other storefront elements.
- (5) Glass in show windows and transoms shall be transparent, clear, bronze or gray tinted. Translucent, opaque, reflective, or colored glass, other than gray or bronze tinted, unless original, shall not be permitted except with prior approval by the Design Review Committee.
- (6) Solid or permanently closed or covered storefronts shall not be permitted, unless treated as an integral part of the building facade using wall material and window detailing compatible with the upper floors, or other building surfaces. All damaged, sagging, or otherwise deteriorated storefronts, show windows, or entrances shall be repaired or replaced.

D. Awnings

- (1) If compatible and harmonious with the scale and character of the structure, and adjoining structures, soft, flameproof awnings are permitted over the first floor doors and windows and on upper floors above windows only.

- (2) Awnings shall not project more than seven (7) feet from the building front, shall not be lower than eight (8) feet above grade, and shall terminate against the building at a height not to exceed approximately fourteen (14) feet above the pavement, except with prior approval of the Design Review Committee.
- (3) Rigid or fixed awnings or canopies are not permitted unless an integral part of the structure, in good condition, of similar materials, compatible with, and harmonious with the scale and character of the structure and adjacent structures. New rigid or fixed awnings or canopies may be added to existing structures subject to restrictions outlined above and with prior approval by the Design Review Committee.
- (4) Awnings shall be mounted to emphasize (i.e., fit within the width of) the existing window opening and shall not be placed in a manner that obscures the actual window shape and details of the façade.

E. Exterior Walls

- (1) All exterior front, side, or rear walls which have not been wholly or partially resurfaced or built over shall be repaired and/or improved in an acceptable manner. Unpainted masonry walls may be painted where necessary to conceal misused material or patched wall coverings. Other unpainted masonry walls may be painted only with the approval of the Design Review Committee. Existing painted masonry walls shall have loose material removed and be painted a single color except for trim which may be another color. Samples of all proposed colors shall be submitted for approval to the Design Review Committee with proposed improvement plans. Patched walls shall match the existing adjacent surfaces as to materials, texture, color, bond and jointing.

- (2) Applied facing materials shall be treated as follows:

If original they shall be painted and/or repaired as necessary according to the minimum standards set forth in these architectural guidelines. If not original and in need of significant repair, or if not in harmony with the character of the building, they are to be removed to reveal the original exterior material which shall be repaired as necessary or removed and replaced by new facing materials, according to the minimum standards set forth in these architectural guidelines, as approved by the Design Review Committee.

- (3) Existing miscellaneous elements on the building fronts, such as empty electrical conduits, unused brackets, etc., shall be removed and the building surface repaired or rebuilt as required to match adjacent surfaces.
- (4) Sheet metal gutters, down spouts, and copings shall be repaired or replaced as necessary and shall be neatly located, securely installed, and painted to harmonize with the other building front elements.

F. Buildings Visible from Public Ways

If the façade or any side or rear wall of a building is exposed to view from a public way or public parking lot, the façade or wall so exposed shall be improved in a manner consistent with these architectural guidelines as necessary to avoid visually detracting from the area.

G. Mechanical and Electrical Equipment on Exterior Walls

- (1) Individual room air-conditioning units shall not be installed in front or side wall windows, if visible from streets or public improvements, without prior approval by the Design Review Committee.
- (2) Through wall air-conditioning units may be installed, subject to prior approval by the Design Review Committee, provided where visible from streets or public improvements the units do not project beyond any adjacent exterior face of the building and are properly screened and ventilated and do not detract from the building character and appearance.
- (3) Where through wall air-conditioning units cannot be flush mounted, awnings may be used in order to make the units as unobtrusive as possible. In such a case, they must be compatible with the scale and character of the building and must be approved in advance by the Design Review Committee.
- (4) Grilles, louvers, vents, and other mechanical and electrical items may be installed in or on exterior walls, where unavoidable and necessary for the function of the building, subject to prior approval by the Design Review Committee. Where visible from streets or public improvements the necessary items shall be painted or otherwise made as unobtrusive as possible and shall not detract from the building character and appearance.
- (5) Trash containers shall be screened from public view.

H. Roofs

- (1) Chimneys, elevator penthouses, or any other auxiliary structure on the roofs shall be repaired and cleaned as required in Section F, "Buildings Visible from Public Ways."
- (2) Any mechanical equipment placed on a roof shall be concealed from public view and be as inconspicuous as possible from other viewpoints. Equipment shall be screened with suitable elements of a permanent nature or finished so as to harmonize with the rest of the building. Where such screening is not feasible, equipment shall be painted in a manner as to minimize its visibility.
- (3) Roofs shall be cleaned and kept free of trash and debris. Other elements which are not a permanent part of the building are not permitted.

I. Auxiliary Structures

Attached or unattached structures at the rear of buildings which are structurally deficient shall be properly repaired or may be demolished upon approval of the Design Review Committee.

J. Rear and Side Yards and Parking Areas

- (1) When a rear or side yard exists or is created through demolition, the owner may utilize the space for storage and loading or parking provided the area is appropriately landscaped and/or screened from all adjacent streets, alleys, and public improvement areas. An appropriate sign not exceeding six (6) square feet may be used to identify and control parking and loading, subject to Design Review Committee approval.
- (2) Off-street parking areas shall be designed as an integral part of the total site design with careful regard to orderly arrangement, landscaping, and ease of access. Off-street parking areas, except at entrance ways, shall be separated from streets or public rights-of-way by appropriate landscaping or screening.
- (3) Existing front yard parking areas shall be clearly defined as to ingress, egress, and internal circulation, and must be appropriately screened by plant materials and/or structure.
- (4) Fences must be compatible with the architecture of the building and the streetscape. Galvanized chain link fencing (silver) is prohibited; however,

the Committee may consider, given specific justification, chain link that is painted or coated in a dark color.

K. Signs

- (1) Signs shall be limited to those identifying the property or identifying the use conducted therein. Advertising by material or product manufacturers and suppliers, other than the primary use of the property, shall not be permitted. All lighting elements such as wires, conduits, junction boxes, transformers, ballasts, switches, and panel boxes shall be concealed from view as much as possible.
- (2) Signs and displays for advertising or promotion are not permitted in public rights-of-way unless specifically authorized in writing by the Design Review Committee, in addition to securing the necessary permits from the City.
- (3) Generally, projecting signs shall not be permitted on any portion of any building. Exceptions may be granted for historic signs or signs of unique graphic design which are less than 12 square feet per face and only with prior Design Review Committee approval.
- (4) Painted or sewn signs on awnings and existing marquees, or canopies may be permitted, subject to Design Review Committee approval.
- (5) Flat signs shall be placed parallel to the building face and shall not project more than twelve (12) inches from the surface of the building and shall not exceed in area two times the width in feet of the frontage of the building. Flat signs shall be placed no higher than the bottom of the second story window where windows exist or approximately fourteen (14) feet above grade level, whichever is lower.
- (6) In the case of corner properties, one flat sign per side is permitted. The area of each sign shall not exceed two times the lesser frontage width in feet. The depth and height limitations shall apply as in paragraph “5” above.
- (7) Painted signs on framed backings or use of separate cut out letters or neon shall be permitted in accordance with the above limits for flat signs.
- (8) Lettering applied to ground floor show windows or entrance doors shall not exceed six (6) inches in height, and the text shall be limited to identification of the primary business therein.

- (9) Signs identifying the business occupant shall be permitted at rear entrance doors if they are mounted flush against the building and do not exceed six (6) square feet in size, except where authorized by the Design Review Committee.
- (10) Signs in upper floor windows are generally not permitted.
- (11) Pole or “lollipop” signs shall not be permitted except with prior approval of the Design Review Committee.
- (12) If approved methods of identification are not available, monument type signs may be permitted if they are in scale and character with surrounding buildings and only with prior approval of the Design Review Committee. Monument signs shall not exceed twelve (12) feet in total height and must be four (4) feet or less from the bottom edge of the sign face to grade. The area of the sign face shall not exceed forty (40) square feet. Monument signs must be appropriately landscaped by structure and/or plant materials that effectively screen the support apparatus.
- (13) Rooftop signs, signs on or above the parapet of a building, billboards, or outdoor advertising signs painted or mounted on billboards or other structures, except as otherwise herein provided, shall not be permitted.
- (14) The Design Review Committee may consider the placement of corporate logos on the parapet or top face of buildings that exceed ten (10) stories in height and serve to house major corporate tenants which occupy a minimum of 30% of the total building space. Logos that are not purely pictorial or single letters but are graphic name displays shall be limited to the identifying name. The logo size shall not exceed in square feet the number of linear feet of the width of the building face to which it is applied. The display of more than one corporation’s logo is prohibited. Corporate logos must be of exceptional quality and design and be compatible with the scale and character of the building. Billboards, sign boards, box signs, and logos painted directly on the face of the building are prohibited.
- (15) Temporary signs, such as lease or rental signs, with prior Design Review Committee approval, may be permitted but shall not be posted for a period that exceeds ninety (90) days. Flashing, moving, or portable signs shall not be permitted except with the approval of the Design Review Committee.

- (16) All signs not conforming to these requirements shall be removed within two (2) years from the project initiation date. No lease for billboards expiring after the project area has been established shall be renewed.

L. Vacant Lots

When a vacant lot exists, whether temporary or permanent, or is created through demolition, the owner must properly landscape and/or screen the property from adjacent streets, alleys, and public improvement areas; cover all areas not actively used for storage, parking, or loading with grass or other ground cover approved for the property by the Design Review Committee; and maintain said ground cover and keep all the property free of trash and debris.

M. Demolition

No structure shall be demolished without prior approval by the Design Review Committee. In general, no request for approval of a demolition permit will be considered without detailed plans for the proposed use of the site after demolition.

N. Other

All other building repairs as identified during the initial inspection and which are necessary to safeguard the health and safety of building occupants shall be made in accordance with applicable sections of the City Building Code.

IV. Design Guidelines for New Non-Residential Construction & Additions to Existing Non-Residential Properties

The following standards shall be applied to all new non-residential structures and to all additions to existing non-residential structures in the Historic District.

A. Community Character

New developments shall be designed with sensitivity to the overall goals and objectives of the community. Specific sites shall be considered in relation to their immediate environment (retail node, pedestrian spine, office park, etc.) and the placement and context within the larger project or redevelopment area and the land use or urban design plans prepared for the area.

B. Building Design

- (1) Each building unit (whether existing or proposed) shall be an integral element of an overall site design and shall reflect and complement the character of the surrounding area or plans prepared therefore.
- (2) Locations of proposed commercial buildings shall be compatible with any adjacent residential areas. Building facades shall be complementary to those adjacent in terms of scale, amenity, and appearance.
- (3) Building facades shall be designed to function as an integral part of the streetscape with attention to visibility, safety, lighting, and incorporation of public amenities.
- (4) Building design shall reflect an overall sensitivity to existing architecture of quality with regard to building materials, fenestration, height, scale, color, contrast, roofs, and parapets.
- (5) Building design shall address the public right-of-way and define and complement the streetscape.
- (6) Generally, blank walls are discouraged. Developers and designers are encouraged to provide windows in high activity areas or to provide architectural relief elements in wall design at the ground level.
- (7) Awnings, canopies, porticos, *etc.* shall be designed as an integral part of the structure, shall be at least 8 feet above grade and shall not project more than 7 feet over a public right-of-way. Any awning, canopy, or portico that is supported by poles, columns, or other vertical support elements

placed in a public right-of-way, requires special approval and permits in addition to Design Review Committee approval. Awnings shall be mounted to emphasize (i.e., fit within the width of) the existing window opening and shall not be placed in a manner that obscures the actual window shape and details of the façade.

- (8) Building entrances shall provide ease of access, be designed so that pedestrians/patrons have visual access and can easily identify the entrance points, be well lighted, and act as an integral part of the streetscape.
- (9) Building materials shall be of good quality. Trendy materials of questionable longevity shall be avoided. Metal buildings are generally prohibited; however, the Design Review Committee may consider developments which incorporate such structures provided they are of superior quality and design and are compatible with the surrounding area in terms of amenity and appearance.
- (10) Corner buildings shall be designed so that they are architecturally responsive to the corner condition and help to define the intersection and accentuate the building line along the street.
- (11) Projects in redevelopment areas which lack sufficient existing structures to define architectural style, period, or quality shall be designed with consideration of the goals and objectives of the community and overall concepts of the redevelopment or urban design plan, using quality materials and construction.
- (12) Trash containers shall be screened from public view.
- (13) The visual impact of electrical and mechanical equipment shall be minimized.

C. Site Planning and Design

- (1) Site planning shall consider the orderly arrangement of all site elements including the following: parking, delivery, access, trash storage and collection, landscape treatments, open space, pedestrian walkways, street, furniture, auxiliary services (phone, vending machines, news, *etc.*), signs, building and auxiliary structures, and fencing.

(2) Buildings

- (a) Where adjacent structures exist, buildings shall be located at comparable or compatible setbacks.
- (b) Where no adjacent structures exist, buildings generally shall be located at the minimum setback in order to define the street/building line.
- (c) Generally, buildings shall be located so that maximum building frontages define the street or public right-of-way.

(3) Parking

- (a) Parking lots on corners are generally prohibited. The Design Review Committee may consider such lots provided the applicant provides specific justification and the design is of superior quality incorporating screening.
- (b) Parking lots shall be located in rear or side yards in order to minimize their view from public rights-of-way. Where parking areas are exposed to public view, they shall be screened with appropriate structural and/or plant materials.
- (c) Vehicular access to parking areas shall be direct and not in conflict with general vehicular movement serving the various uses within the site. Ingress and egress points shall be well distanced from intersections to avoid congestion and interference with traffic. Where feasible, entrances shall be shared with adjacent properties.
- (d) Entrances and exits shall be designed so that they are easily identifiable by motorists. Any signage required to direct motorists to entrances shall be simple, clear, and designed to work in harmony with site elements and signs for the project. Any gates, arms, or booths shall be set back from the face of the adjacent buildings. Booths shall be designed as an integral part of the development.

(4) Loading and Service Area Design

Loading and service space shall be unobtrusively provided off-street to serve business uses in the proposed development.

(5) Open Space and Landscape Design

- (a) Proposed development shall consider the provision of appropriate open space in combination with the proper siting of buildings. Streets, pedestrian walkways, and open spaces, including street furniture and signs, shall be designed as an integral part of the overall design, and shall be properly related to adjacent existing and proposed buildings.
- (b) A coordinated landscape program for the proposed development shall be incorporated for the entire proposed site. Landscape development shall include plantings in combination with related paving and surface treatments and other amenities deemed necessary to the project.

D. Signs

- (1) A systematic and coordinated sign package is required for all new developments. Sign packages for new developments shall address signs for the entire site including, but not limited to, building identification, business name, tenant signage, parking, loading or service, informational, and directional signs.
- (2) Consideration shall be given to the provision of sign space in the building and site design.
- (3) All signs shall reflect quality workmanship and materials.
- (4) Special consideration shall be given to the quality and placement of light sources emitting from or directed toward signs.
- (5) The following criteria shall apply to the size, placement, and types of signs allowed.
 - (a) Signs shall be limited to those identifying the property or identifying the use conducted therein. Advertising by material or product manufacturers and suppliers, other than the primary use of the property, shall not be permitted. All lighting elements such as wires, conduits, junction boxes, transformers, ballasts, switches, and panel boxes shall be concealed from view as much as possible.
 - (b) Signs and displays for advertising or promotion are not permitted in public rights-of-way unless specifically authorized in writing by

the Design Review Committee, in addition to securing the necessary permits from the City.

- (c) Generally, projecting signs shall not be permitted on any portion of any building. Exceptions may be granted for historic signs or signs of unique graphic design which are less than 12 square feet per face and only with prior Design Review Committee approval.
- (d) Painted or sewn signs on awnings, and existing marquees or canopies may be permitted, subject to Design Review Committee approval.
- (e) Flat signs shall be placed parallel to the building face and shall not project more than twelve (12) inches from the surface of the building and shall not exceed in area two times the width in feet of the frontage of the building. Flat signs shall be placed no higher than the bottom of the second story window where windows exist or approximately fourteen (14) feet above grade level, whichever is lower.
- (f) In the case of corner properties one flat sign per side is permitted. The area of each sign shall not exceed two times the lesser frontage width in feet. The depth and height limitations shall apply as in paragraph "5" above.
- (g) Painted signs on framed backings or use of separate cut out letters or neon shall be permitted in accordance with the above limits for flat signs.
- (h) Lettering applied to ground floor show windows or entrance doors shall not exceed six (6) inches in height, and the text shall be limited to identification of the primary business therein.
- (i) Signs identifying the business occupant shall be permitted at rear entrance doors if they are mounted flush against the building and do not exceed six (6) square feet in size, except where authorized by the Design Review Committee.
- (j) Signs in upper floor windows are generally not permitted.
- (k) Pole or "lollipop" signs shall not be permitted except with prior approval of the Design Review Committee.

- (l) If approved methods of identification are not available, monument type signs may be permitted if they are in scale and character with surrounding buildings and only with prior approval of the Design Review Committee. Monument signs shall not exceed twelve (12) feet in total height and must be four (4) feet or less from the bottom edge of the sign face to grade. The area of the sign face shall not exceed forty (40) square feet. Monument signs must be appropriately landscaped by structure and/or plant materials that effectively screen the support apparatus.
- (m) Rooftop signs, signs on or above the parapet of a building, billboards, or outdoor advertising signs painted or mounted on billboards or other structures, except as otherwise herein provided, shall not be permitted.
- (n) The Design Review Committee may consider the placement of corporate logos on the parapet or top face of buildings that exceed ten (10) stories in height and serve to house major corporate tenants which occupy a minimum of 30% of the total building space. Logos which are not purely pictorial or single letters but are graphic name displays shall be limited to the identifying name. The logo size shall not exceed in square feet the number of linear feet of the width of the building face to which it is applied. The display of more than one corporation's logo is prohibited. Corporate logos must be of exceptional quality and design and be compatible with the scale and character of the building. Billboards, sign boards, box signs and logos painted directly on the face of the building are prohibited.
- (o) Temporary signs, such as lease or rental signs, with prior Design Review Committee approval, may be permitted but shall not be posted for a period that exceeds ninety (90) days. Flashing, moving, or portable signs shall not be permitted except with the approval of the Design Review Committee.
- (p) All signs not conforming to these requirements shall be removed within two (2) years from the project initiation date. No lease for billboards expiring after the project area has been established shall be renewed.

APPENDIX
The Secretary of the Interior's
Standards for the Treatment of Historic Properties

The Secretary of the Interior's Standards for the Treatment of Historic Properties were developed to help protect our nation's irreplaceable cultural resources by promoting consistent preservation practices. The Standards may be applied to all properties listed in the National Register of Historic Places: buildings, sites, structures, objects, and districts.

The Standards are a series of concepts about maintaining, repairing and replacing historic materials, as well as designing new additions or making alterations. There are Standards for four distinct, but interrelated, approaches to the treatment of historic properties --preservation, rehabilitation, restoration, and reconstruction.

In addition to applying the required design guidelines contained in this Historic Preservation Plan, the following Secretary of the Interior's Standards for the Treatment of Historic Properties also shall be applied as general guidelines in the design review of proposed work on historic properties (residential and non-residential), and the Standards should be used by anyone planning and undertaking work on historic properties.

Note: The "Standards for Rehabilitation" cited in 36 CFR 67 also are required to be followed when property owners are seeking certification for Federal tax benefits. Illustrated guidelines for interpreting the Secretary of the Interior's Standards for the Treatment of Historic Properties may be found at <http://www.nps.gov/history/hps/tps/standguide/index.htm>.

STANDARDS FOR PRESERVATION

Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Preservation as a Treatment: When the property's distinctive materials, features, and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; when depiction at a particular period of time is not appropriate; and when a continuing or new use does not require additions or extensive alterations, Preservation may be considered as a treatment.

STANDARDS FOR REHABILITATION

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the

old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Rehabilitation as a Treatment: When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment.

STANDARDS FOR RESTORATION

Restoration is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

1. A property will be used as it was historically or be given a new use which reflects the property's restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period will not be undertaken.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Materials, features, spaces, and finishes that characterize other historical periods will be documented prior to their alteration or removal.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

Restoration as a Treatment: When the property's design, architectural, or historical significance during a particular period of time outweighs the potential loss of extant materials, features, spaces, and finishes that characterize other historical periods; when there is substantial physical and documentary evidence for the work; and when contemporary alterations and additions are not planned, Restoration may be considered as a treatment. Prior to undertaking work, a particular period of time, i.e., the restoration period, should be selected and justified, and a documentation plan for Restoration developed.

STANDARDS FOR RECONSTRUCTION

Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed

property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.

5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

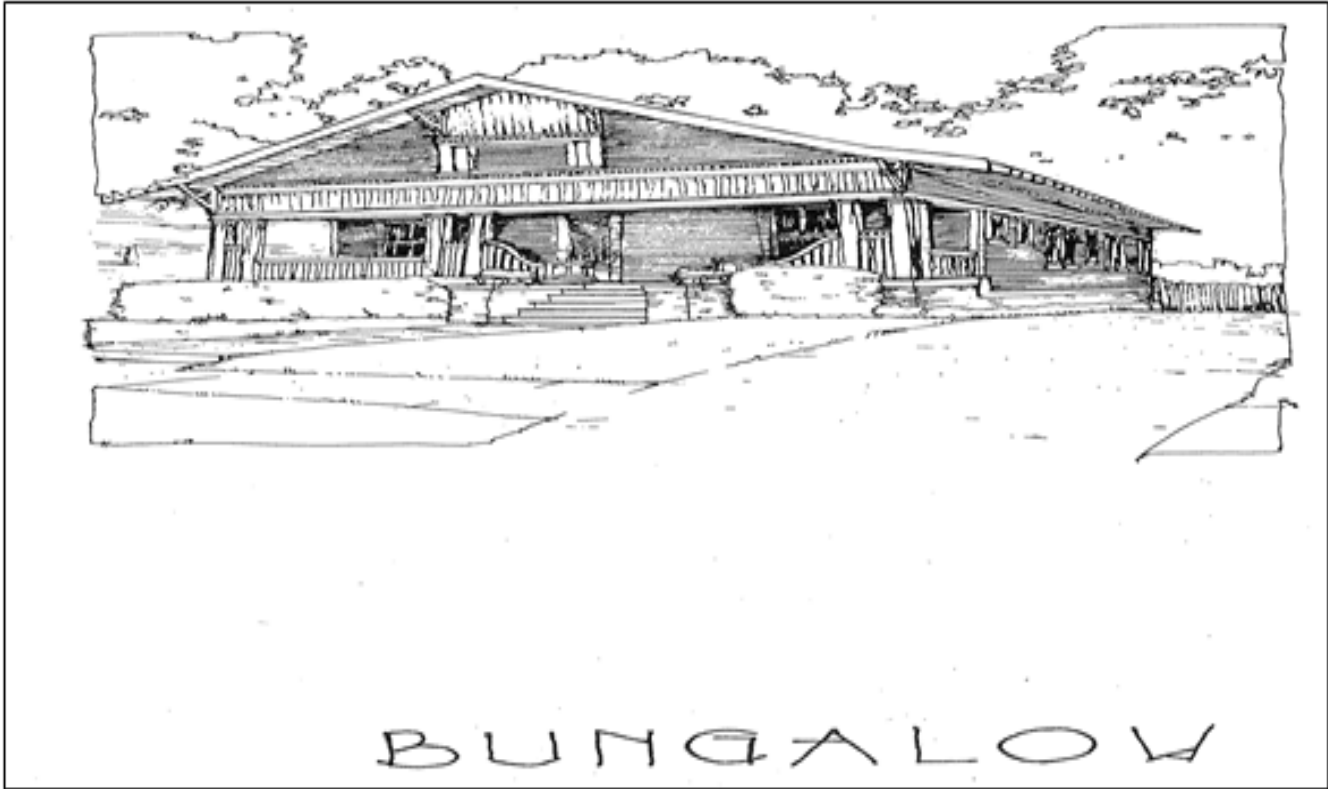
Reconstruction as a Treatment: When a contemporary depiction is required to understand and interpret a property's historic value (including the re-creation of missing components in a historic district or site); when no other property with the same associative value has survived; and when sufficient historical documentation exists to ensure an accurate reproduction, Reconstruction may be considered as a treatment.

DRAFT

**APPENDIX B:
Architectural House Styles & Features**

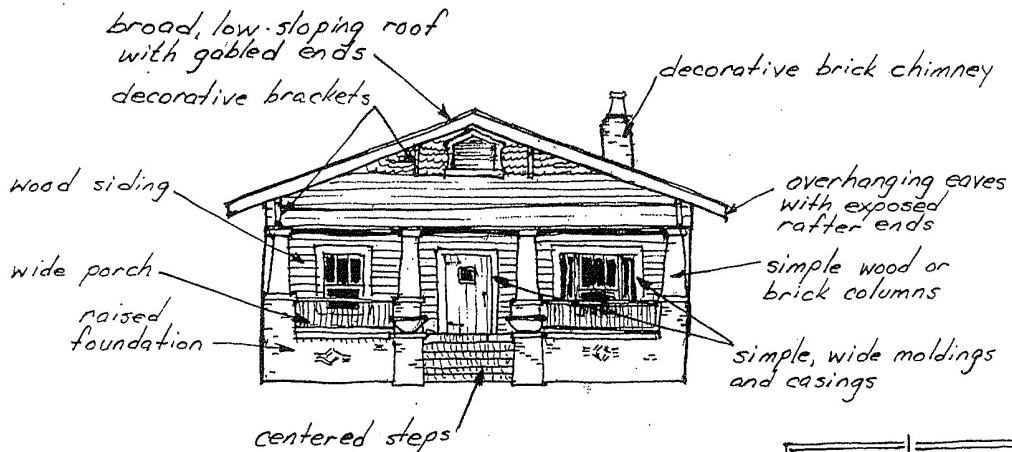
**(These drawings and photographs are only illustrations and examples
of the many architectural house styles found in South East Lake.)**

DRAFT



BUNGALOW

° WHAT TO LOOK FOR



° GENERAL CHARACTERISTICS

Gustav Stickley, a New York furniture maker, helped to popularize the bungalow through his magazine, "The Craftsman."

Architects and homeowners praised bungalows as embodiments of the American ideals of thrift and individualism

- popular from late 1800's to the 1930's
- the most prevalent architectural style in the original South East Lake Historic District
- simple, efficient, and informal in plan.
- generally wood-framed with wood or shingle siding
- roofs originally covered with wood or with asphalt shingles; occasionally with terra cotta clay tiles
- most bungalows are simple, one-story houses, but size, shape, and decorative features can vary widely

Bungalow - is a corruption of the Hindi word *bangla* - a type of light cottage with a veranda. These were favored by the British colonial rulers in India, who later took the style to England. The style then travelled to America, where it enjoyed wide popularity.

Bungalow/ Craftsman

The bungalow is an expression of the Arts and Crafts movement and describes a building type. Many bungalows featured Craftsman style details. Some smaller houses with Spanish or English cottage details are also referred to as bungalows. Examples of the Craftsman bungalow were predominantly built in the 1920's in neighborhoods like South East Lake. This style is the most prevalent seen in South Highlands of East Lake and Lakewood. The application of brick veneer exterior is often seen in Howard College Estates. Details featured in this style include:

- Tapered or battered columns on brick or stone piers
- Faux stone, rubble stone used in masonry on foundation, piers, balustrade or columns
- Partial or full width porch
- Low pitched roof, broad eaves with exposed rafter tails and/or knee braces
- Multi-light window over one window pane configuration, often in groupings
- Dormers with different roof variations



834 81st Street South, c. 1925



7912 7th Avenue South, c. 1925



8009 9th Avenue South, c. 1925



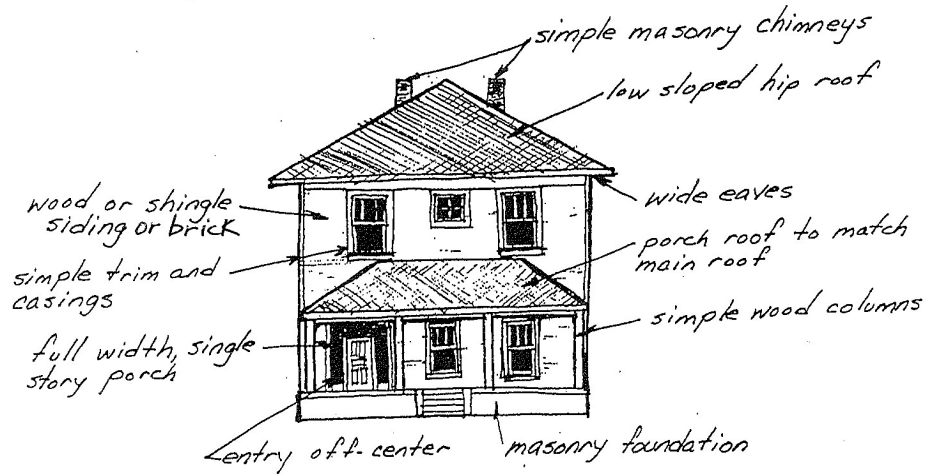
8505 2nd Avenue South, c. 1925



FOURSQUARE

FOUR SQUARE

WHAT TO LOOK FOR



GENERAL CHARACTERISTICS

Easily built, utilizing many factory built components, and assembled using standardized construction techniques, the Foursquare allowed builders to rapidly erect spacious, economical houses. These characteristics were transplanted

- built from late 1890's to the 1920's
- found locally in South East Lake and other historic districts throughout Birmingham
- wood framed with wood lap or shingle siding
- floor plans arranged formally with parlor and entry hall in front, kitchen and service areas in rear, and bedrooms upstairs
- roof generally covered with wood or asphalt shingles

The Foursquare is considered part of America's few indigenous architectural movements. This particular movement found its greatest voice in the stylistically similar "Prairie Style" houses by renowned architect Frank Lloyd Wright.



and adapted to houses across America, and even to those as far away as the frontiers of Australia and Africa.

American Foursquare

The American Foursquare building type features box-like massing with four rooms upstairs and a similar number of rooms downstairs. Popular at the turn of the century until the 1920's, the plan was adaptable to a number of styles including Classical Revival and Craftsman. Common traits include:

- Two story height
- Square form
- Hipped or pyramidal roof with or without central dormer
- One-over-one window configuration
- Stone or brick foundations
- Full or partial width porch supported by classic or boxed columnar supports
- Other design elements usually incorporated for style



8317 2nd Avenue South, c.1903



8104 9th Avenue South, c.1920



809 80th Street South, c.1920

Revival Styles

The late 19th century and early 20th century Revival period is also sometimes referred to as the Eclectic Movement. This period saw several building designs emulating the past. Some of the more popular sub-types were Classic Revival and Colonial Revival. Other revival styles included Jacobean Revival, Tudor Revival, Romanesque Revival, and Spanish Colonial Revival.

Colonial Revival and Dutch Colonial Revival

The Colonial Revival style was produced from an interest in America colonial architecture. The prominent style coincided with the popularity of the Classical Revival style. The Colonial Revival style ornament is derived from Greek and Roman classical architecture. The style typically features:

- Symmetrical facade, rectangular mass
- Pedimented columns and paired columns
- Projecting entrances supported by Classical colonettes (small columns)
- Side gable roofs with exterior end chimneys
- Weatherboard or brick exterior cladding

There are several subtypes of this style, notably the Dutch Colonial Revival, which is distinguished by Gambrel roof, side entry, decorative hood entrance, and dormers. The examples below are Colonial Revival.



7825 5th Avenue South, c. 1925



748 Vanderbilt Street, b. 1930



830 81st Street South, c. 1940



609 85th Street South, c. 1930



783 81st Street South, c. 1940



819 77th Way, c. 1939

Tudor Revival

The Tudor Revival style draws on Medieval construction to create an aesthetical pleasing building. Other styles as such English Cottage and Story book borrow from Tudor elements as well. This is the most prevalent style in Howard College Estates. The style is typically features

- Steep roof pitch punctuated with dormer
- Complex rooflines
- Arched openings and doors decorated with stone quoins
- Half-timbering
- Multi-paned windows
- Decorative front or side chimney



752 Vanderbilt Street, c. 1930



743 Vanderbilt Street, c. 1930



753 Vanderbilt Street, c. 1940



825 81st Street South, c. 1925

Spanish Colonial Revival

Spanish Colonial Revival style is reminiscent of the old Spanish villages seen in the Southwest United States and Florida. It features

- Side or cross-gable usually low-pitched roofs
- Round arches at fenestration or openings
- Stucco walls
- Spiral columns
- Curvilinear gables
- Asymmetrical facade



7801 1st Avenue South, c. 1915



708 77th Way South, c. 1929



7933 9th Avenue South, c. 1925



7939 8th Avenue South c. 1925

Queen Anne and Free Classic

The Queen Anne is a Victorian period style prominent in the late 1800's until the early turn of the century. Queen Anne residences varied in size from larger homes to small cottages. Free Classic is a variation of the Queen Anne style and mixes Queen Anne details with classical detailing. The Queen Anne style features:

- Asymmetrical massing that often include turrets or towers
- Complex roof forms
- Wrap-around porches or partial porches
- Details such as half-timbering, patterned masonry
- Intricate spindle work
- A variety of siding such as stucco, shake, clapboard

The Free Classic variant also featured:

- Palladian windows and multi-light configuration
- Full-width and side porches
- Classical columns



326 80th Street South, c. 1910
Free Classic Example

Art Moderne

The Art Moderne style was part of the Modern Movement in American architecture. It was popular during the 1920's until the 1940's. This style is more commonly associated with commercial and institutional buildings.

Features are:

- Flat roofs with small ledge
- Asymmetrical facade
- Horizontal emphasis sometimes seen in details such as grooved walls and curved walls, metal balustrade
- Ribbon windows and windows wrapping where wall planes intersect
- Stucco exterior
- Glass block windows



7901 Division Street, c. 1940

Minimal Traditional

The Minimal Traditional style was popular post-war modern housing prominent from 1925 to 1950. The style responded to the need for housing. Its simplistic details were cost-effective and efficient. Prominent features of this style include:

- One story height, three bay (opening) facades
- Double-hung windows
- Low to medium pitch hipped or gable rooflines and stoops or partial width porches
- Narrow, boxed eaves
- Wall covering could be shake, wood, or asbestos shingle



821 80th Street South, c. 1941



813 80th Street South, c. 1949



8532 3rd Avenue South, c. 1950

Cottage Forms

The pyramidal roofed cottage, "L" cottage, and "T" Cottage is more of a typology than a style. Many of the pyramidal roofed cottages seen in the South East Lake and South East Lake Highlands area were mostly constructed to meet the housing needs of industrial workers at the turn of the century. "L" and "T" cottages were constructed beginning in the mid-19th century.

Pyramid Roofed Cottage

The type typically features:

- Steeply pitched roof to allow heat to rise
- Shed roof porch
- Centrally located chimneys
- Square massing



8533 2nd Avenue South, c. 1910



7906 6th Avenue South, c. 1910



7915 6th Avenue South, c. 1920

