

**WAVERLY PLACE
HISTORIC PRESERVATION PLAN**

DRAFT

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I. PURPOSE OF LOCAL HISTORIC DESIGNATION

The City of Birmingham desires to protect its beauty and historical integrity, and to stabilize and improve its neighborhoods by preserving historic buildings and districts. To accomplish this, it adopted Ordinance No. 92-223 in September 1992 (with subsequent amendments in Ordinance No. 00-81) to authorize the designation of local historic buildings and districts.

There are several purposes of local historic district designation. The major purposes include the following: (1) To ensure that the character of historic districts is retained, protected, and enhanced; (2) To review major, proposed exterior changes to historic properties for conformity with the historic guidelines adopted in the district's preservation plan; and (3) To strengthen the economy of the City of Birmingham by enhancing its attractiveness to residents, visitors, and businesses and by stabilizing and improving property values, thereby maintaining economic investment in the City and avoiding or reversing urban decay and blight.

This local historic district designation will allow the Glen Iris neighborhood the opportunity to initiate preservation and to provide input into how preservation of the historical and architectural character of the District can be accomplished. Thus, the City and the Glen Iris neighborhood believe the District's interests and the owners' interests will be enhanced by the local historic district designation.

II. STATEMENT OF SIGNIFICANCE

The Waverly Place Historic District contains 119 resources, of which 109 are contributing structures that retain most of their historic character. As stated in the National Register of Historic Places nomination for Waverly Place, "Waverly Place was platted first in 1901 by Colonel William H. Graves and William S. Going. This 1901 plat partially superseded an earlier one called Richmond Place and was developed concurrently with the pioneering residential development of Glen Iris Park immediately to its south."

According to the National Register criteria, the areas of significance for the Waverly Place Local Historic District are Community Planning, for its representation of a typical residential pattern that developed in the early decades of the 20th century up until mid-century, and Architecture, due to its concentration of typical housing types that are very good examples of evolving style from the Queen Ann to Prairie. The Period of Significance is from 1900 to 1950, when the Glen Iris Baptist Church was built. Of the District's 119 resources, only ten are non-contributing, all modern apartment buildings. There are five historic apartment buildings in the Craftsman commercial style of the late teens and 1920s and one from the early 1940s in a more federal style. Otherwise the District contains only houses; these range in style from Queen Ann and what could best

be called vernacular or Victorian cottage through Neoclassical Revival, Craftsman to Prairie. Bungalows dominate the count at 43, and traditional American Foursquares come next at 22. Much of the interest of the District comes in observing the transitions in style from one to another, particularly as the Craftsman influenced the Foursquare and then the Prairie influenced the Craftsman. Although there are only three houses that could be called Neoclassical Revival, that stylistic influence is seen throughout the District on smaller houses, particularly the Foursquares.

III. ELIGIBILITY STATUS

The Waverly Place Historic District was added to the Alabama Register of Landmarks & Heritage in 2020. Based on the historical and architectural survey that was completed as part of the National Register nomination and the Alabama Register of Landmarks & Heritage nomination, the proposed Waverly Place Local Historic District is automatically eligible to be designated as a local historic district under the City of Birmingham's Historic Preservation Ordinance.

IV. BOUNDARY DESCRIPTION

The boundaries of the Waverly Place Local Historic District are outlined on the attached map. Generally, the district is bounded on the north by surviving historic properties closest to 11th Avenue South, on the south by 16th Avenue South, on the west by 10th Street South, and on the east by 11th Place South.

V. GENERAL PROCEDURE ON APPLICATIONS FOR CERTIFICATES OF APPROPRIATENESS & PROCEDURE ON WAIVERS FROM CERTIFICATES OF APPROPRIATENESS

As a result of Waverly Place's designation as a local historic district, the City of Birmingham's Design Review Committee will hear design review cases for properties located within the Waverly Place Local Historic District. The City of Birmingham has appointed its Design Review Committee (DRC), as established in Section 7-1-185 of the General Code of the City of Birmingham, 1980 as amended, to perform the duties and responsibilities of the Birmingham Historical Commission in accepting, considering, approving, approving as amended, or rejecting applications for Certificates of Appropriateness. The Design Review Committee is composed of eleven (11) members. Members are appointed by the City Council. Except for special meetings and holiday schedules, the DRC will meet the second and fourth Wednesday of each month at 7:30 a.m. Prior to the DRC meeting, an Urban Design staff person will provide the property owner or his/her representative with a copy of the design guidelines for the district and a list of the exhibits needed for the presentation.

Local historic district designation mandates that no work that would change the exterior appearance of any building or structure in a local historic district should be undertaken, unless the owner has received a Certificate of Appropriateness (COA) by the City's

Design Review Committee or a Waiver (of the COA) by the Department of Planning, Engineering and Permits.

When exterior work is proposed for a property, the applicant must submit proposed drawings, photographs and plans for the subject property to the Department of Planning and Engineering's Urban Design staff (on the 5th floor of City Hall) who will determine whether a waiver or a COA is necessary.

Waivers of the Certificate of Appropriateness Requirement

If staff determines that the proposed work *does not* change the external appearance of the building or structure (e.g., only interior repairs that do not change the exterior size or appearance of the building are being proposed), that the work proposed is routine maintenance, or that the work proposed otherwise complies with the District's Design Review Guidelines, staff will issue a waiver and so inform the Buildings and Inspections Division of the Department of Planning, Engineering and Permits in writing.

Certificate of Appropriateness Requirement

If staff determines that the proposed work *does* change the external appearance of the building, except in cases of routine maintenance as outlined in Section VIII.C herein, the applicant must apply for a Certificate of Appropriateness (COA) and staff shall schedule the applicant's case for a hearing before the City's Design Review Committee. The applicant shall be informed in writing of the time and place of the hearing. At the scheduled DRC hearing, the applicant should present the applicable submittal requirements for local historic district design review cases.

Neighborhood Participation Requirement in the Design Review Process

In order to facilitate neighborhood participation in the design review process, local historic districts shall have the right to designate local historic advisory committees, the members of which shall be appointed by the Neighborhood Association in which all or the majority of the local historic district is located. The Waverly Place Local Historic District desires to establish a Local Historic Advisory Committee (LHAC or Advisory Committee) to make recommendations to the City of Birmingham's Design Review Committee (DRC) on applications for Certificates of Appropriateness (COA) prior to hearing of those applications by the City's Design Review Committee. The Local Historic Advisory Committee, in accordance with the City's Historic Preservation Ordinance (Ord. No. 92-223 as amended by Ord. No. 00-81), will be an advisory committee only, as the City's DRC has the sole authority to make the final decision on design review cases.

The Local Historic Advisory Committee shall have not more than seven (7) nor less than three (3) members. Whenever practicable, at least one member shall be a representative of the following professional groups: architects, building trade professionals, civil engineers, and real estate brokers or developers. The Advisory Committee shall follow

and be bound by the same procedures and considerations as the DRC as set out in the City's Historic Preservation Ordinance for consideration of a Certificate of Appropriateness. Unlike the DRC, the Advisory Committee will not hear requests for consideration of economic hardship. Members of the Advisory Committee should be owners of properties located within the boundaries of the Waverly Place Local Historic District.

Prior to the dates of scheduled Design Review Committee hearings for cases involving properties in the Waverly Place Local Historic District, staff shall forward the cases to the Waverly Place Local Historic Advisory Committee by notice to the Advisory Committee's designated contact person, officer, or representative. The designated contact person will schedule the applicant's case for a meeting of the district's Local Historic Advisory Committee. That meeting must be held prior to the City's Design Review Committee meeting for the subject property. Upon reviewing the design review case, the Advisory Committee shall make a recommendation to the City's Design Review Committee.

At the City's Design Review Committee hearing of each case in the Local Historic District, staff will present the DRC with the Local Historic Advisory Committee's recommendation. The DRC will hear the case. In order for the DRC to reverse, wholly or partly, or modify the recommendation submitted by the LHAC, a vote of two-thirds (2/3) majority of the DRC members present at the meeting to consider the case is required. If the application for a Certificate of Appropriateness is approved, the Design Review Committee, through its staff, can transmit to the owner a COA clearly stating the work approved. If the COA application is not approved, the owner will be informed in writing of the reasons for the denial, and permits for the subject work will not be approved.

VI. APPEALS PROCEDURE (For Denial of Certificate of Appropriateness Applications)

In the event the Design Review Committee denies a Certificate of Appropriateness application, the procedures set forth in Sections 7-1-205 and 7-1-206 of the City's Historic Preservation Ordinance (No. 92-223, as amended by No. 00-81) shall be followed.

As outlined in said ordinance, the DRC shall state its reasons in writing and transmit such decision to the applicant and the Building Division. Any person having a request for a COA or COA with revisions denied by the DRC may:

A. Request a determination of economic hardship from the DRC.

In order for the DRC to consider the economic effect of denial of a Certificate of Appropriateness upon an individual property, the owner must demonstrate that such action will cause hardship so as to deprive him or her of a reasonable use of or return on the property.

The DRC may solicit expert testimony or may require the owner to make submissions concerning the nature of the work proposed. The DRC will consider all information presented and make a written determination within sixty (60) days of whether hardship and deprivation of reasonable use or return has been demonstrated.

Should the owner demonstrate hardship and deprivation of reasonable use of or return on the property, the City of Birmingham will review its options for providing financial incentives necessary to comply with the DRC's design review decisions. A determination shall be made within sixty (60) days as to whether financial incentives can be made available. If such incentives will not be available, the DRC shall notify in writing the owner and the Department of Buildings and Inspections that no COA is required.

- B. Make modifications to his or her plans and resubmit the application for reconsideration at any time after doing so, and/or;**
- C. Make written appeal of such denial or denial of a finding of economic hardship first to the Birmingham Historical Commission within fifteen (15) days of the denial.**

The BHC shall hear the appeal within thirty (30) days and shall render its opinion in writing within five working days after its decision and shall transmit such decision to the applicant and the Director of Buildings and Inspections. In the event that the grievance remains unsatisfied, a final appeal may be filed with the circuit court of Jefferson County.

VII. ENFORCEMENT

Once a building permit is issued, construction must begin within six (6) months and be completed within eighteen (18) months after the COA has been issued. (Extensions of time may be obtained only after good cause is shown by the applicant). If construction does not begin within the stated time period, the COA shall expire and become void.

If construction begins and the work is not in compliance with plans approved by the DRC, then the Buildings & Inspections Division issues a stop work order, and plans that would bring building into compliance must be presented to the DRC.

If construction is completed and found to be in violation, then the owner is cited in writing and given thirty (30) days to bring property into compliance, or the owner must bring plans to the DRC and present sufficient justification for unapproved changes. If necessary after reviewing the unapproved changes, the DRC shall provide written directives as to how to rectify the violations and shall establish a deadline by which the building shall be brought into compliance.

VIII. PRESERVATION STRATEGY

The Glen Iris Neighborhood Association has determined that preservation of the Glen Iris neighborhood through local historic district designation is critical to the overall needs and goals for revitalization of the neighborhood. The neighborhood believes that local historic district designation, with its accompanying regulations and design guidelines, is the best way to protect property values as the designation allows for the review and regulation of rehabilitations as well as new construction projects, and the designation restricts demolition, demolition by neglect, and the destruction of public landscaping. In this way, the neighborhood believes it can protect the visual and historical integrity that defines the character of Waverly Place.

A. **Means By Which the Existence and Significance of the Historic District Will Be Publicized**

Upon local designation, the Glen Iris Neighborhood Association will notify property owners and the general public of the existence and significance of the historic district by regular announcement of the existence and significance of the district at neighborhood meetings, and by coordinating with local realtors and real estate companies who frequently do business in the area in order to inform new and potential owners of the designation.

B. **Design Review Guidelines**

The Waverly Place Design Review Guidelines (also referenced as the “Waverly Place Design Guidelines”) attached hereto will be used as the basis by which to review any appropriate activities in the historic district.

C. **General Definition, Rights, and Obligations of Routine Maintenance**

Routine Maintenance refers to those routine and minor repair items which do not require a Certificate of Appropriateness (COA). Repairs, such as painting of originally painted surfaces and in-kind replacement of rotted trim with trim that matches the original material and the original design, shall constitute routine maintenance. Routine maintenance repairs shall not require a COA, unless such repairs are part of a larger overall project. In addition, repairs to the interior of the structure shall not require a COA, as long as the proposed repairs do not change the external size or appearance of the building.

D. **Means by which Technical Assistance Will Be Offered to Property Owners**

Technical assistance from the historic preservation staff of the City of Birmingham’s Department of Planning, Engineering & Permits will be offered to property owners in the Waverly Place Local Historic District in the event of questions concerning the design review procedure and guidelines and questions concerning possible incentives for historic properties.

E. Financial Incentives for Promoting Preservation Within the Local Historic District

The Birmingham Historical Commission and the staff of the Department of Planning, Engineering and Permits will work with the Glen Iris Neighborhood Association to publicize the local historic district designation and its advantages and to provide property owners with information on potential financial incentives, when available.

50% State Property Tax Reduction

There is a valuable tax incentive available for owners of certain types of “income producing” historic buildings. Those buildings include commercial, industrial, or rental residential buildings that are individually listed in the National Register, listed as “contributing structures” to National Register historic districts, or determined by the Alabama Historical Commission (AHC) to be eligible for listing in the National Register. In Alabama, owners of income-producing historic buildings are eligible to have their state ad valorem property taxes assessed at 10% (the residential rate) rather than the usual 20%. That savings cuts state property taxes in half, amounting to a 50% property tax reduction. This incentive is part of the Wallace Property Relief Constitutional Amendment or the “Lid Bill” found in Code of Alabama 40-8-1 Section 2.

In order to claim this credit, owners must 1) complete a Historic Preservation Certification Application Part I (Evaluation of Significance), which includes photographic documentation; 2) submit the Part I Application to the Alabama Historical Commission; and 3) if the Part I Application is approved, present the National Park Service certification (for properties within National Register historic districts) or the Alabama Historical Commission letter (for properties individually listed in the National Register or determined by the AHC as eligible for listing in the National Register) to the county tax assessor for reassessment of the property.

The Part I Certification Application may be obtained from the Alabama Historical Commission at (334) 242-3184 or downloaded from the following National Park Service website: <http://www.cr.nps.gov/hps/tps/tax/index.htm>. Do not proceed with work on the building before the application is approved. Contact the Alabama Historical Commission for questions and advice on completing the application, and consult a professional tax advisor for help in determining the tax details and other financial implications of this program.

25% State Rehabilitation Tax Credit

The following information, which is current as of 2020, is contained on the website of the Alabama Historical Commission at the following link: <https://ahc.alabama.gov/TaxIncentivesComparison/FactSheet.pdf>:

The Alabama Historic Rehabilitation Tax Credit is a 25% refundable tax credit available for private homeowners and owners of commercial properties who substantially rehabilitate historic properties that are listed in or eligible for the National Register of Historic Places and are 60 years old or older. Taxpayers filing a State of Alabama income tax return or entities exempt from federal income taxation who own title to a building or own a leasehold interest in a building for a term of 39 years or more may apply. Tax credits are capped at \$5 million for commercial properties and \$50,000 for residential homes. \$20 million in tax credits are available each tax year from 2018 to 2022. Excess tax credits will be carried forward each year. \$8 million of each year's allocation will be set aside for rural communities for the first six months of the year. Eligible costs must exceed 50 percent of the owner's original purchase price or \$25,000, whichever is greater. Work must follow the Secretary of the Interior's Standards for Rehabilitation, which guarantee improvements will maintain a building's historic character and integrity. The standards may be found at the following website:

<https://ahc.alabama.gov/FederalTaxCreditPDFs/TreatmentofHistoricPropertiesGuidelines-2017.pdf>. The state tax credit application is a three-step process. The AHC provides technical assistance on application procedures, appropriate rehabilitation work, and will visit properties as needed. The AHC will recommend qualifying projects to the Historic Tax Credit Evaluating Committee who will rank projects in the order they are to receive tax credit reservations. Applicants must report progress of the project at 18 months and 36 months of receiving the reservation, and the project must be complete within 60 months. At the end of a project, owners submit a final application providing information on the completed project. If work complies with the Standards and all other requirements are met, the AHC issues a Tax Credit Certificate. Owners claim the tax credit in the tax year in which the building is placed in service. The credit is transferable only one time. Any unused portion of the tax credit is refundable.

20% Federal Rehabilitation Tax Credit

To help with the costs of restoring and preserving historic buildings, there is a federal historic preservation tax incentive program available to taxpaying owners of income-producing historic buildings listed in the National Register of Historic Places. Such buildings include commercial, industrial, and rental residential properties that are treated as income-producing by the IRS. Currently, there are no tax incentives for private, owner-occupied historic residences (that is, those residences not used for rental residential purposes).

Under the federal tax incentive, an owner of an income-producing building that is either individually listed in the National Register or listed as a "contributing" structure to a National Register historic district can apply for a 20% investment tax credit for exterior and interior rehabilitation work that is approved and certified by the National Park Service as being compatible with the historic character of the property and as meeting the Secretary of the Interior's *Standards*

for Rehabilitation. The rehabilitation costs must be substantial, which means that rehab expenses exceed the greater of \$5,000.00 or the adjusted basis of the building. The credit, which is applied directly against the owner's federal income taxes, is for 20% of the total eligible rehabilitation cost.

Owners interested in seeking this credit may contact the Alabama Historical Commission (AHC) at (334) 242-3184 for the three-part application and more details on the credit. The application also can be downloaded from the following National Park Service website: <http://www.cr.nps.gov/hps/tps/tax/index.htm>. Before beginning rehabilitation work, owners must submit to the AHC Parts 1 and 2 of the application, which must be approved by the National Park Service. The Alabama Historical Commission or local consultants can provide guidance with the application and rehabilitation process. A professional tax advisor should be consulted for help in determining the tax details and other financial implications of the incentive.

F. Measures to Encourage Economic Activity and Development Conducive to Preservation within the Local Historic District

The Birmingham Historical Commission and the Department of Planning, Engineering & Permits will stay abreast of activities, including grant and loan programs, that could encourage economic activity and development conducive to preservation within the Waverly Place Local Historic District, will educate property owners on the advantages of local historic district designation, will answer questions related to the application of the adopted design guidelines, and will educate and advise property owners about possible financial incentives (federal tax credits and state property tax reductions) for historic preservation.

DEFINITIONS

Alteration – Any act or process that changes one or more of the exterior architectural features of a structure, including, but not limited to, the erection, construction, expansion, rehabilitation, reconstruction or removal of any structure.

Appropriate – A proposed activity that is consistent with the design guidelines.

Certificate of Appropriateness (COA) – A certificate from the Design Review Committee indicating its approval of plans for alteration, construction, removal or demolition of the exterior features of a structure which is individually designated as historic or is a structure within a historic district

Construction – The act of adding to an existing structure or the erection of a new principal or accessory structure on a lot.

Contributing Resource – A building, site, structure, or object adding to the historic significance of a property and retaining architectural integrity.

Demolition – The razing or destruction, whether entirely or of the defining historical elements, of a building, structure, or site. Demolition also includes the removal of a building or structure from its site or the removal or destruction of its façade.

Demolition by Neglect – Failure to comply with the Minimum Property Standards, as established by building and housing regulations and ordinances of the City.

Designation – The legal recognition by ordinance of a property or district as historic by action of the Birmingham City Council.

Exterior Architectural Appearance – The architectural character and general composition of the exterior of a structure, including but not limited to the kind and texture of the building material, and the type and character of all windows, doors, landscape elements, light fixture, signs and appurtenances.

Inappropriate – A proposed activity that is not consistent with the design guidelines and may result in the withholding of a Certificate of Appropriateness.

Integrity – Authenticity of a property's historic and architectural identity, evidenced by the survival of physical characteristics that existed during the property's historic period of significance

Non-contributing Structure – A building, site, structure, or object that does not add to the historic significance of a property and/or does not retain architectural integrity.

Preservation – To sustain the existing form, integrity, and material of a building or structure.

Reconstruction – The process of reproducing by new construction the exact form and detail of a vanished building, structure or object, as it appeared during a specified time period.

Rehabilitation – The act or process of returning a property to a state of utility through repair or alteration while preserving those features of the property which are historically, architecturally, or culturally significant.

Repair – Any change that is not construction, removal or alteration.

Restoration – The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time through the removal of later work or by the replacement of missing earlier work.

Routine Maintenance – Minimum repairs to a building structure, or object for which no Certificate of Appropriateness is required as adopted by the Design Review Committee for the district in which the property is located.

Structure – Anything constructed or erected, the use of which requires permanent or temporary location on or in the ground, including but not limited to buildings, fences, gazebos, signs, billboards, back stops for tennis courts, swimming pools and radio and television antennae, including supporting towers.

STANDARD DESIGN GUIDELINES

The purpose of this document is to outline design guidelines that serve as a tool to provide guidance for the protection, preservation, and promotion of the historic and architectural character of the historic district. The historic district will protect its rich architectural heritage by requiring sensitivity to the original design, materials, character, and craftsmanship of existing structures that are undergoing repair and restoration. It is equally important that the same sensitivities be observed in new construction of residential, recreational, commercial, and other properties. Therefore, this document provides guidance for those projects as well.

General Standards of Review for Residential and Non-Residential Properties:

1. Every reasonable effort shall be made to use a property for its originally intended purpose or to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment.
2. The distinguishing original qualities or character of a building, structure, or site and its landscape features shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity and reviewed with particular emphasis on preservation of the features.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, supported by historic, physical, or pictorial evidence rather than

conjectural designs or the availability of different architectural elements from other buildings or structures.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods, such as high pressure water, that will damage the historic building's materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, quality of craftsmanship, and character of the property, neighborhood, or environment.
10. New additions or alterations to a structure shall be constructed in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

I. Design Guidelines for Existing Residential Properties

Among the houses in the Waverly Place Local Historic District, diverse house styles are represented. Those styles that are part of the local historic district's period of significance (1900-1950) include Classical Revival, Craftsman Bungalow, American Foursquare, Prairie, Queen Anne, and Vernacular.

The following standards shall generally apply to existing residential structures (i.e., not new/infill residential construction and not additions) in the Waverly Place Local Historic District:

Note: The illustrations included in this document are for instructive purposes only and are not intended to serve as specific design solutions.

A. Awnings

Awning material, color, and style shall be compatible with the age and style of the original structure. Aluminum awnings will generally not be approved except where stylistically appropriate –that is, post-1940 homes.

B. Chimneys

Repair to chimneys shall be with matching materials. Use matching brick and mortar when repairing and maintaining chimneys.

C. Decks

Decks are not appropriate at the front or side of the house.

D. Demolition

Demolition of a building or structure listed on the National Register of Historic Places as a contributing structure is prohibited, unless the property is in a condition deteriorated beyond the point of reasonable repair, or has suffered structural damage that affects the majority of the building or structure.

E. Doors

Original doors, frames, hardware, and glass shall be retained and maintained where possible since original doors help to define a house’s architectural style and therefore are of great importance to the preservation of a historic structure. Repair in accordance with the original design is preferred over replacement.

When repair of original doors, frames, hardware, and glass is not possible due to extreme deterioration, replacements should match the original design or be consistent with the architectural style of the home. Deteriorated or missing frame, hardware, and glass shall be replicated in kind with new pieces to match the original ones.

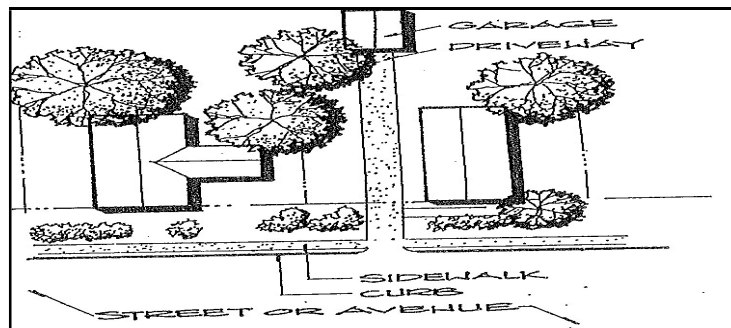
Transoms and sidelights shall be repaired and maintained. Enclosing or covering of transoms, doors, and sidelights shall not be permitted.

F. Driveways

Install residential driveways in a manner and width compatible with those historically installed, generally not wider than ten feet and also in compliance with the City’s Zoning Ordinance.

Locate driveways to the side and rear of the main building.

Extend all driveways to at least the rear of the main building.

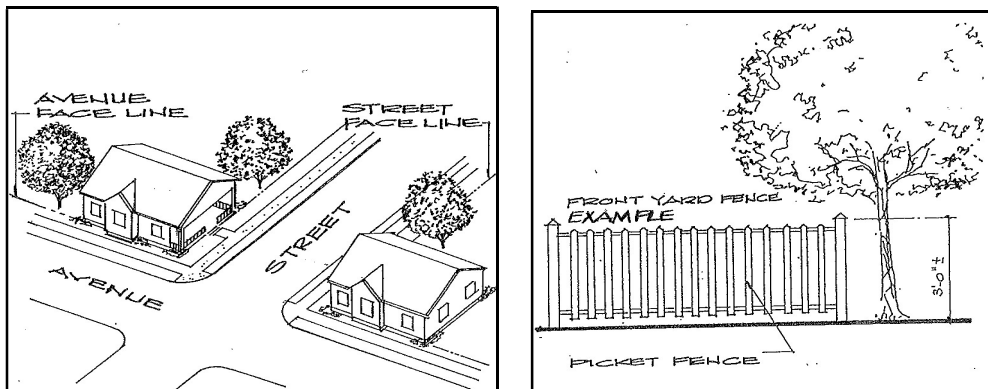


G. Fencing

Fencing shall be appropriate to the period of the house and district and shall be in compliance with zoning regulations. Materials used for fencing shall be consistent

with those originally used in the district. The use of chain link and solid wood fencing in the front yard, or in the rear or side yard that is visible from the public roadway, shall not be allowed.

Avoid solid fences along corner property lines as corner lots have two building face lines that must be observed, as shown in the left illustration below.



Rear and side yard fences and animal enclosures that are visible from the public roadway shall be complementary to the historic character of the district.

Appropriate (based on the period of the house & the fence location):

- Wood or wrought iron fence

Inappropriate:

- Chain link fence

H. Foundations

Original foundation materials shall be maintained and repaired when necessary.

Exposed concrete block foundations must be faced with materials appropriate to the period and design of the structure.

Appropriate (based on the period & design of the house):

- Brick
- Stuccoed or bricked concrete block

Inappropriate:

- Exposed concrete block
- Plywood or mineral board panels
- Metal infill
- Plastic or vinyl sheeting
- Imitation brick or stone
- Vinyl lattice

I. Gutters and Downspouts

The size and profile of gutters and downspouts shall be appropriate to the house.

When replacement downspouts are needed, they shall be installed to channel water away from the foundation to prevent moisture damage.

Gutters and downspouts shall be painted to blend with other trim on the building.

J. Handicap Accessibility Features

Ramps and other items aiding accessibility and safety of handicapped persons shall complement the character and material of the structure where possible and practical, so as not to detract from the building's character, defining facades, features, and finishes.

Locate handicapped ramps to the side or rear of the main building, insofar as practicable and in conformance with the Americans with Disabilities Act.

Locate fire doors, exterior fire stairs, and elevator additions on the rear or on non-character defining facades.

Landscaping can be used to camouflage and integrate the new handicapped features with the existing building.

Design and construct handicapped ramps so that the required slope is confined to as small an area as practicable and installed so as to be removed without damage to the structure.

K. Materials

In the Waverly Place Local Historic District, the primary form of construction is wood frame. Exterior wall material ranges from simple weatherboard and wooden siding to brick veneer and stucco.

Rehabilitation, restoration, and reconstruction projects should use a traditional building material, similar in size and physical appearance to the original construction.

Alternative materials shall not be used unless such materials visually replicate the original exterior in appearance, dimensions, texture, etc. to every degree possible. However, replacement or covering of original siding material with artificial or synthetic siding such as aluminum or vinyl is discouraged. Artificial siding can change the visual character of a building and can conceal underlying problems such as moisture penetration, decay, and insect infestation. Repair or replacement of damaged siding with original siding material is encouraged when appropriate, but it shall not be required that asbestos-based or any other hazardous types of siding should be replaced.

Use appropriate surface treatments such as gentle cleaning, limited paint removal/hand scraping, and area-application of a protective coating system to

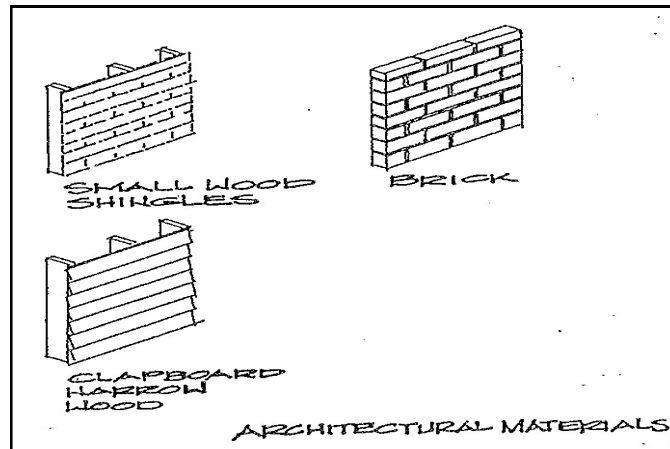
protect and maintain the structure's original masonry and wood. Avoid sandblasting, high pressure water washing, and using abrasive materials when preparing masonry surfaces.

Appropriate (based on the original design of the house)

- Wood siding or an alternative (other than vinyl or aluminum) that visually replicates the original exterior
- Weatherboard
- Brick
- Stucco
- Rubble stone

Inappropriate:

- Aluminum siding
- Vinyl siding



L. Paint

Paint colors may be reviewed as part of a project. Colors shall be compatible with the age and style of the house.

Remove paint using hand scraping.

Do not sandblast wood siding or brick under any circumstances. Circular sanding is also not recommended.

Previously unpainted brick shall not be painted except in cases where repair has been so extensive as to be visually distracting.

Previously unpainted stone shall never be painted.

Previously painted brick and stone may be repainted, but natural colors that resemble the original brick or stone color should be used.

M. Parking

Parking pads in the front of the house are discouraged.

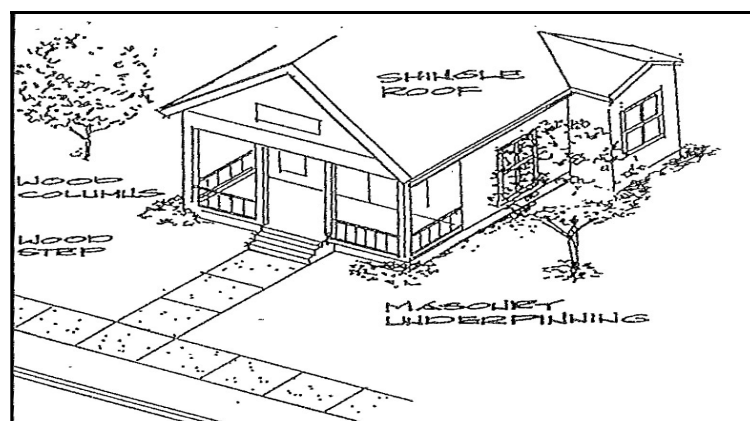
N. Porches (primary)

Entrances and entrance features such as doors, fanlights, sidelights, pilasters, entablatures, columns, balustrades, and stairs help to signify the age and define the overall historic character of a building, and therefore should be retained and preserved.

Maintain the historic design and character of existing porch structures. Deteriorated frame porch elements shall be repaired where needed. If replacement is necessary, it shall be with matching wood pieces or other matching materials based on historical documentation through photographs and other means.

Enclosing porches that open onto principal streets is not recommended. Enclosures at secondary locations that are not readily visible from the street are acceptable. Enclosing a porch with glass or screening is discouraged. Screening or glass shall not cover or obscure original elements such as rails, framing, balusters and columns. Framing for the enclosure shall be in keeping with the structure in terms of style and material.

Existing historic porch stairs shall be retained and repaired or, if repair is not possible, replaced with matching materials in an essentially similar design based on documentation of historic conditions.



O. Rain Water Collection

Rain water collection systems shall not be visible from the street.

P. Repointing Masonry

Masonry repair, replacement or repointing should match the original work in material, color, texture, workmanship and character. Repointing with inappropriate mortar can have both visual and physical consequences. The use of mortars with a high Portland cement content or the use of most ready-mix mortars are generally inappropriate for historic masonry. Such mortars are typically harder than the surrounding masonry or stone materials and can result in considerable damage over time. Masonry sealants such as silicone based products or the application of stucco over existing surfaces are typically not appropriate.

Q. Retaining Walls

Original retaining wall and terracing materials shall be maintained and repaired when necessary. Exposed concrete block retaining walls must be faced with materials appropriate to the period and design of the structure.

Appropriate (based on the period & design of the house):

- Rubble stone
- Brick
- Concrete block with stucco or brick veneer
- Cut stone

Inappropriate:

- Exposed/unfinished concrete block

R. Roofs

Historic roof materials shall be repaired and maintained where possible.

When replacement of the existing roof materials is necessary due to deterioration, roof materials on any permanent structure shall be historically accurate or shall appear to be historically accurate based on the original materials and architectural style of the house.

A porch roof shall match the materials of the house roof proper except in the interest of preserving historical materials original to the home.

The design character of the roof should be maintained. Gable and hipped roofs are common to the neighborhood. Alteration of the historic roof form (*i.e.*, the original roof shape and pitch) shall not be permitted.

Examples of Appropriate Roof Materials (only if the proposed material is historically accurate based on the original roof material on the house, as well as the architectural style of the house):

- Asphalt or fiberglass shingles
- Slate

- Terra Cotta Clay Tiles
- Wood shingles
- Concrete shingles

Examples of Inappropriate Roof Materials:

- Asphalt roll roofing
- Built-up or membrane roofing
- Corrugated sheet metal roofing
- Metal shingles or standing seam metal

S. Solar/Skylight Additions

Solar equipment, skylights, and solar tubes shall not be visible from the street.

T. Storm Windows

Storm windows shall not obscure original window proportions. Storm windows shall be single pane to leave visible the original sash configuration, or if storm windows are double hung in appearance, the muntin bar shall match the placement of the original window muntin bar. Storm windows that have horizontal rails shall match the profile of the rails of the original window.

Storm windows shall be finished with a baked enamel finish to match the color of the window trim wherever feasible.

Appropriate:

- Wood
- Metal with baked enamel or anodized finish to match sash color
- Mill finish aluminum

Inappropriate:

- Vinyl

U. Trim (decorative)

All historic trim shall be repaired and maintained. Any elements of the trim which become deteriorated shall be repaired or replaced with new pieces that match the original design and proportions.

Trim which is not appropriate to the historic house style or design shall be discouraged.

Window cornices shall not be removed.

V. Windows

The windows of an historic home are an important feature of the home's architecture. For that reason, every effort should be made to preserve and maintain original windows, including the original opening, window frame, sash, and sill.

Repair windows in accordance with the original window design. Repair and maintenance shall include replacing broken panes with new panes to match, repair and replacement of deteriorated frame elements with new frame to match, and painting.

Replacement of entire windows shall be discouraged. However, where window replacement is unavoidable because of deterioration, new sashes, frame units, and sills are to match the original window in terms of material, style, light pattern (design), construction, and proportions (see illustration below).



Window proportions have been altered from the acceptable example above.

Wood windows or metal clad wood windows (with true divided lights or simulated divided lights if historically accurate) are acceptable. Replacement windows with between-the-glass muntins are not acceptable, nor are vinyl windows or vinyl clad wood windows.

Alternative means of reducing energy consumption, such as interior or exterior storm windows, shall be encouraged.

Appropriate:

- Wood windows
- Metal clad wood windows
- True divided light windows
- Simulated divided lights (if historically accurate)

Inappropriate:

- Vinyl windows
- Vinyl clad wood windows
- Between-the-glass muntins

W. Window Shutters

Original shutters shall be repaired and maintained in working order where possible. Deteriorated shutter elements shall be repaired or replaced with new wood to match.

In cases of extreme deterioration, original shutters shall be replaced with new shutters that match the originals in size, shape, and configuration. New shutters shall work or appear to work.

X. Yards and Landscape

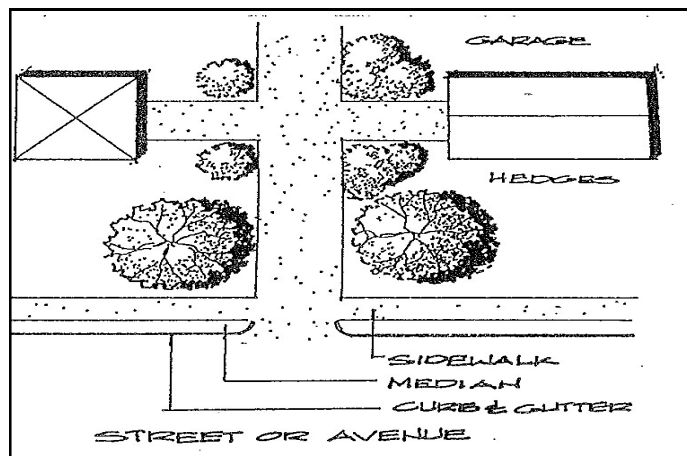
Throughout the Waverly Place Local Historic District, there are street trees and the typical Southern flora. Lots are embellished with attractive landscaping, and sidewalks and curbs dominate the neighborhood.

Landscaping on private property shall attempt to maintain the mature historic character of the area, especially in regard to trees. Every effort shall be taken to preserve original landscape elements, including retaining walls and steps, and to maintain the tree canopy of healthy trees on private property.

Significant alterations to existing healthy tree canopy are discouraged. Mass cutting is detrimental to the quality and character of the area.

Active replanting and re-landscaping to maintain overall tree canopy are encouraged.

The City of Birmingham's Public Works Department shall be consulted concerning the removal of any tree in the public right-of-way.



II. Design Guidelines for New Residential Construction (In-fill Housing) and Additions to Existing Residential Properties

The following standards shall generally apply to the construction of new/in-fill residential structures and to the construction of new additions to existing residential structures in the Waverly Place Local Historic District:

A. Additions

Any additions shall be in keeping with the character and architectural style of the original house design, including the design of such features as windows, doors, roofing, and exterior wall materials. It is important to maintain the integrity of the original façade.

Size, scale, massing, orientation, and setbacks shall be consistent with the main structure and the immediately surrounding properties.

Design and construct additions in such a manner that, if the change were to be removed in the future, the essential form and integrity of the original structure would not be impaired.

Locate additions so they will not obscure or damage significant architectural features, ornament, or detail.

Place additions to the side or rear, or set back slightly from the building front so as to be visually subordinate to the building and so as not to alter the historic rhythm of building fronts.

Site plans for additions shall be sensitive to and compatible with adjacent properties and structures and shall minimize changes to natural site topography

B. Architectural Style

The street façade is visually significant to the historic character of a street. New construction should employ façade designs that are architecturally compatible with existing historic structures.

So that they appear to be congruous with the majority of the houses within the neighborhood, infill houses shall be similar in architectural design and character to a style represented among the district's contributing housing stock. Those styles are as follows: Classical Revival, Craftsman Bungalow, American Foursquare, Prairie, Queen Anne, and Vernacular.

New construction should reference predominant design characteristics that make the area distinctive, while still reflecting creative design solutions that are more than just mere imitations of existing buildings.

In terms of materials and craftsmanship, infill houses shall be of a quality comparable to the local historic district's original homes.

C. Awnings

Awning material, color, and design shall be compatible with the style of the structure.

Aluminum awnings will generally not be approved except in the case of already existing post-1940 houses.

D. Chimneys

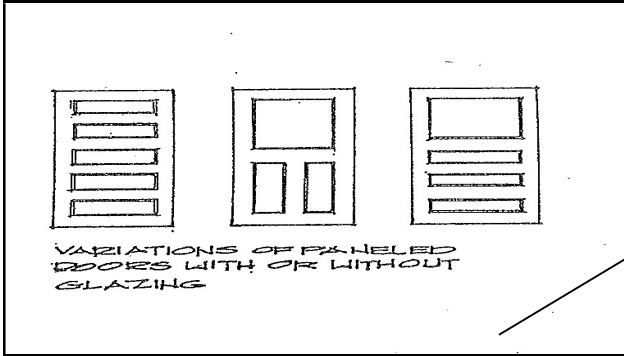
Chimneys shall be of brick or stone.

E. Decks

Decks are not appropriate at the front or side of the house.

F. Doors

Doors shall conform to the style of the house.



Note: These styles are only illustrative and are not intended to represent the styles of existing doors on homes within the district or the styles of doors that can be placed on homes within the district.

G. Driveways

Install residential driveways in a manner and width compatible with those historically installed, generally not wider than ten feet and also in compliance with the City's Zoning Ordinance.

Locate driveways to the side and rear of the main building.

Extend all driveways to at least the rear of the main building.

H. Fencing

Fencing shall be appropriate to the style of the house and district and shall be in compliance with zoning regulations. Materials used for fencing shall be consistent with those originally used in the district. The use of chain link and solid wood fencing in the front yard, or in the rear or side yard that is visible from the public roadway, shall not be allowed.

Avoid solid fences along corner property lines as corner lots have two building face lines that must be observed.

Rear and side fences and animal enclosures that are visible from the public roadway shall be complementary to the historic character of the district.

Appropriate (based on the house style & fence location):

- Wood or wrought iron fence

Inappropriate:

- Chain link fence

I. Foundations

Foundation materials for additions and new construction projects shall be consistent with the architectural style of the primary or proposed structure and with the foundation materials found on similar historic structures within the district. Exposed concrete block foundations must be faced with materials appropriate to the period and design of the structure.

Appropriate (based on the period & design of the house):

- Brick
- Stuccoed or bricked concrete block
- Stone

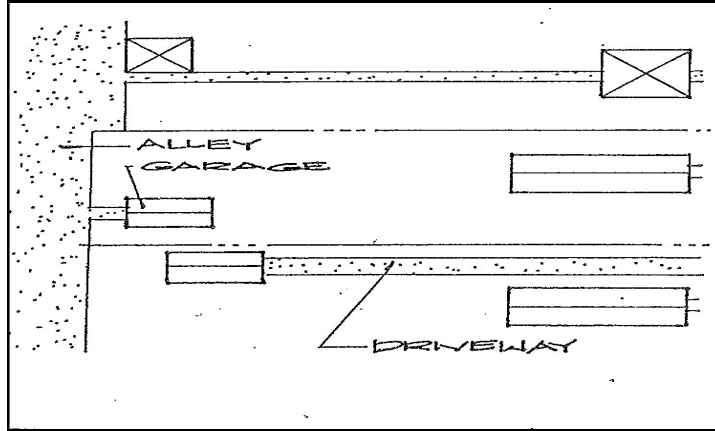
Inappropriate:

- Exposed concrete block
- Plywood or mineral board panels
- Metal infill
- Plastic or vinyl sheeting
- Imitation brick or stone
- Lattice

J. Garages and Permanently Detached Accessory Structures

Throughout the Waverly Place Local Historic District, all homes have standard setbacks characteristic of early 20th century neighborhoods.

New construction of garages must be located at the rear of the parcel on which the house is located, and must be subordinate to the main structure, as shown in the illustration below.



Any new, permanently detached structures shall be in keeping with the original character of the main house design.

Massing and setbacks shall be consistent with that of the immediately surrounding properties.

Site plans for permanently detached structures shall be sensitive to and compatible with adjacent properties and structures and shall minimize changes to natural site topography.

K. Gutters and Downspouts

The size and profile of gutters and downspouts shall be appropriate to the house.

Downspouts shall be installed to channel water away from the foundation to prevent moisture damage.

Gutters and downspouts shall be painted to blend with other trim on the building.

L. Handicap Accessibility Features

Ramps and other items aiding accessibility and safety of handicapped persons shall complement the character and material of the structure where possible and practical.

Locate handicapped ramps to the side or rear of the main building, insofar as practicable and in conformance with the Americans with Disabilities Act.

Design and construct handicapped ramps so that the required slope is confined to as small an area as practicable and installed so as to be removed without damage to the structure.

M. Materials

In the Waverly Place Historic District, the primary form of construction is wood frame. Exterior wall material ranges from simple weatherboard to brick veneer and stucco.

New construction projects and additions should use a traditional building material, similar in size and physical appearance to the original materials used on houses in the district.

Alternative materials shall not be used unless such materials visually replicate the original exterior in appearance, dimensions, texture, etc. to every degree possible. Exterior siding materials shall visually replicate siding originally found on contributing structures in terms of appearance, dimensions, texture, etc. Vinyl, aluminum, or corrugated metal siding is not recommended.

Materials of garages and outbuildings should be similar to that of the main structure.

Appropriate (based on the original design of the house)

- Wood siding or an alternative (other than vinyl or aluminum) that visually replicates the original exterior
- Weatherboard
- Brick
- Stucco
- Rubble stone

Inappropriate:

- Aluminum siding
- Vinyl siding

N. Paint

Paint colors may be reviewed as part of a project. Colors shall be compatible with the style of the house being represented.

Stone shall not be painted.

Garages should be painted to match the main structure.

O. Parking

Parking pads in the front of the house are discouraged.

P. Rain Water Collection

Rain water collection systems shall not be visible from the street.

Q. Retaining Walls

New retaining walls shall be constructed of similar materials as those on existing retaining walls within the district – that is, rubble stone, brick, concrete (with a veneer, such as stucco or brick, applied), or cut stone.

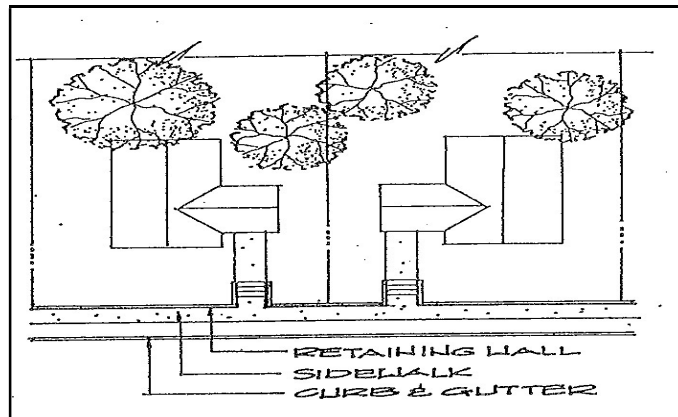
If located in the front of the property, retaining walls shall be located behind the sidewalk and only high enough for normal sloping to the residence.

Appropriate (based on the period & design of the house):

- Rubble stone
- Brick
- Concrete block with stucco or brick veneer
- Cut stone

Inappropriate:

- Exposed/unfinished concrete block



R. Roofs

In Waverly Place Historic District, roofing materials primarily include asphalt shingles. Roof materials on any permanent structure shall be historically accurate or shall appear to be historically accurate based on the architectural style being represented.

Metal roofing shall not be used.

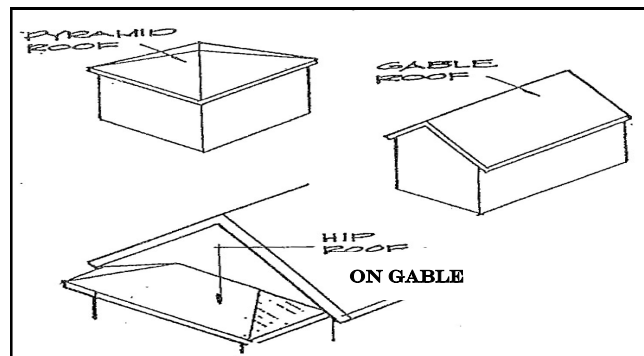
Roof forms for additions should be compatible with the historic roof and should be visually secondary to the principal roof.

Examples of Appropriate Roof Materials (only if the proposed material is historically accurate based on the original roof material on the house, as well as the architectural style of the house):

- Asphalt or fiberglass shingles
- Slate
- Terra Cotta Clay Tiles
- Wood shingles
- Concrete shingles

Examples of Inappropriate Roof Materials:

- Asphalt roll roofing
- Built-up or membrane roofing
- Corrugated sheet metal roofing
- Metal shingles or standing seam metal



S. Size, Scale, Massing, Orientation, and Setback

General Guideline: In terms of size, scale, massing, orientation, and setback, in-fill houses and additions shall conform to and be consistent with dominant patterns of size, scale, massing, orientation, and setback of the existing historic and immediately surrounding housing stock within the district and shall be in compliance with the Zoning Ordinance of the City of Birmingham.

In Waverly Place, there is similarity of setback, scale, and height which contributes to visual unity within the district.

Definition: Proportion (size) is the relationship of one dimension to another; for example, the relationship of the height to the width of a building, or the height and width of windows and doors.

Guideline: Individual elements of a building should be proportional to each other and the building. New construction should be consistent with adjacent buildings in proportions of width to height.

Definition: Scale refers to the apparent relationship between two entities, such as the relationship of a building's height to human height, the relationship between different buildings' heights and sizes, or the relationship between the size of an addition and the building to which it is attached. In a historic district, the two most important issues are (1) the relationship of new construction to structures in the area of influence, and (2) the relationship of additions to the building to which they are being added.

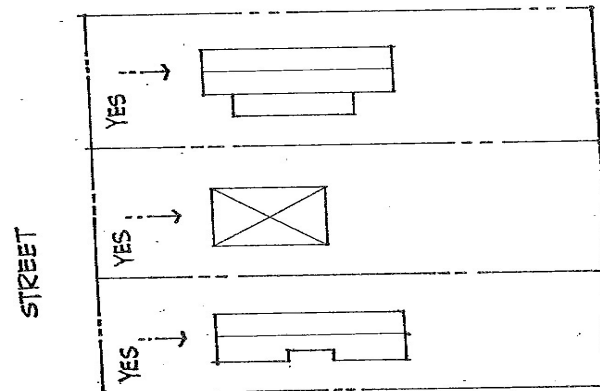
In Waverly Place, structures range from one-story to three-story.

Guideline: In terms of scale, additions should not appear to overwhelm the existing building.

Definition: Massing has to do with the way in which a building's volumetric components (i.e., main body, roof, bays, overhangs, and porches) are arranged and with the relationship between solid wall surfaces and openings.

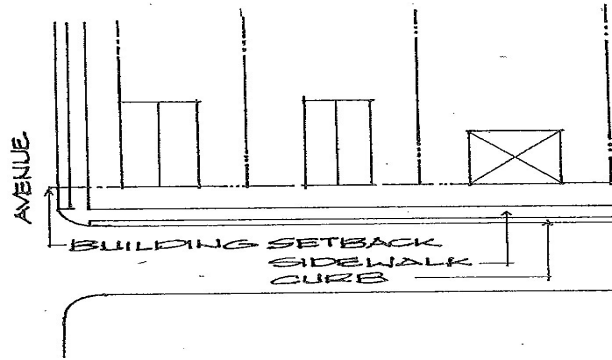
Definition: Building orientation refers to the directional placement of the building on the site, as shown in the example below.

Guideline: The main façade and primary entrance should face the street.



Definition: Setback refers to how far back the building is located from the street and side lot lines, as illustrated below.

In the Waverly Place Historic District, the setbacks are characteristic of early 20th century neighborhoods.



Guideline: Maintain the historical pattern of building setbacks, which establishes a consistent spacing and repetition of facades and provides a cohesive composition of the streetscape.

T. Solar/Skylight Additions

Solar equipment, skylights, and solar tubes shall not be visible from the street.

U. Storm Windows

Storm windows shall not obscure the window proportions. Storm windows shall be single pane to leave visible the original sash configuration, or if storm windows are double hung in appearance, the muntin bar shall match the placement of the original window muntin bar. Storm windows that have horizontal rails shall match the profile of the rails of the primary windows.

Storm windows shall be finished with a baked enamel finish to match the color of the window trim wherever feasible.

Appropriate:

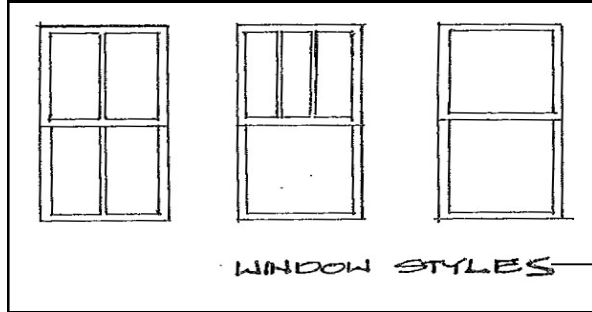
- Wood
- Metal with baked enamel or anodized finish to match sash color
- Mill finish aluminum

Inappropriate:

- Vinyl

V. Windows

Windows with between-the-glass muntins are not acceptable. Window sizes and proportions shall be similar to those within the existing historic housing stock.

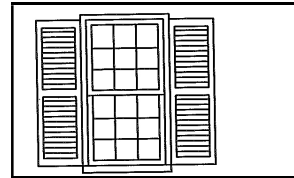


Note: These styles are only illustrative and are not intended to represent the styles of existing windows on homes within the district or the styles of windows that can be placed on homes within the district.

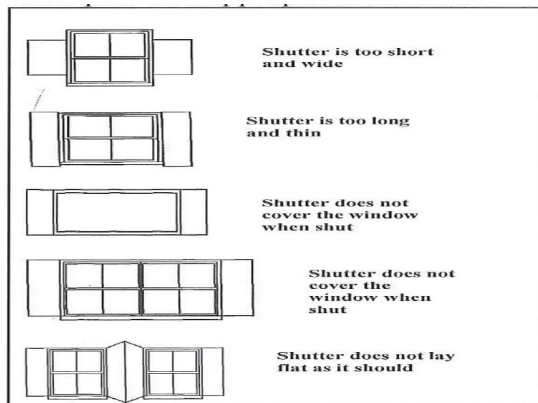
W. Window Shutters

Shutters shall be proportional to the window opening, and shutters shall work or appear to work.

Example of an Appropriate Shutter that fits over the window and thus covers the window when shut:



Examples of Inappropriate Shutters:



X. Yards and Landscape

Landscaping on private property shall attempt to maintain the mature historic character of the area especially in regard to maintaining the tree canopy of healthy trees.

Every effort shall be made to preserve original landscape elements, including retaining walls and steps. Active replanting and re-landscaping to maintain overall tree canopy are encouraged.

Significant alterations to the existing healthy tree canopy are discouraged. Mass cutting is detrimental to the quality and character of the neighborhood.

The City of Birmingham's Public Works Department shall be consulted concerning the removal of any tree in the public right-of-way.

DRAFT

GENERAL NON-RESIDENTIAL DESIGN GUIDELINES

Article I. Rehabilitation of Existing Non-Residential Properties

A. Building Fronts, Sides and Rears Abutting Streets or Public Areas

All structural and decorative elements of building fronts, sides, and rears abutting and/or visible from streets or public improvements shall be repaired or replaced to match as closely as possible the original materials and construction of that building. Rotten, deteriorated or weakened elements shall be replaced. Repairs and replacements shall match as closely as possible the original.

B. Windows

- (1) Windows not in the front of buildings shall be kept properly repaired or, with Fire Department approval, may be closed, in which case, sills, lintels and frame must be removed and the opening properly closed to be compatible with the adjacent wall.
- (2) All windows must be tight fitting and have sashes of proper size and design to be compatible and harmonious with the scale and character of the structure. Modernizations which reduce or enlarge window openings from the original, or significantly change the original fenestration, are not permitted. Sashes with rotten wood and/or deteriorated metal, broken joints, or loose mullions or muntins shall be replaced. All broken and missing window glass shall be replaced with new glass or approved glazing materials.
- (3) Window openings in upper floors of the front of the building shall not be boarded up and shall not be filled without prior approval by the Design Review Committee. Window panes shall not be painted.
- (4) If ceilings, partitions, or other interior elements terminate inside the window area, and are visible through the window from the exterior, they shall be stopped short of the glass and the exterior edge or face shall be treated in such a manner so as not be obvious from the exterior. Boxes, crates, etc. shall not be stacked inside windows unless concealed by shutters, blinds, drapes, or other appropriate window covering.
- (5) Windows shall not be painted for advertising purposes, but may be painted for authorized identification of the place of business as authorized by the Design Review Committee and in accordance with Section K, "Signs."

C. Store Fronts

- (1) A store front shall include the building face, show windows, porches and entrance area leading to the door, sidelights, transoms, display platform devices, including lighting and signage designed to be viewed from the public right-of-way.

- (2) Show windows, entrances, signs, lighting, sun protection, porches, security grilles, etc., shall be compatible and harmonious with the scale and character of the structure. All store front elements must be located within fourteen (14) feet of grade unless original store front elements exceeded fourteen (14) feet in which case, subject to review and approval by the Design Review Committee, they may remain at the original height.
- (3) Show windows shall not be painted for advertising purposes, but may be painted for authorized identification of the place of business if approved by the Design Review Committee, and in accordance with Section K, "Signs."
- (4) Show window trim, mullions, or muntins not consistent or compatible with overall facade design shall be replaced or painted in a manner complementary to other store front elements.
- (5) Glass in show windows and transoms shall be transparent, clear, bronze, or gray tinted. Translucent, opaque, reflective or colored glass, other than gray or bronze tinted, unless original, shall not be permitted except with prior approval by the Design Review Committee.
- (6) Solid or permanently closed or covered storefronts shall not be permitted, unless treated as an integral part of the building facade using wall material and window detailing compatible with the upper floors, or other building surfaces. All damaged, sagging or otherwise deteriorated storefronts, show windows or entrances shall be repaired or replaced.

D. Awnings

- (1) If compatible and harmonious with the scale and character of the structure and adjoining structures, soft, flameproof awnings are permitted over the first floor doors and windows and on upper floors above windows only.
- (2) Awnings shall not project more than seven (7) feet from the building front, shall not be lower than eight (8) feet above grade, and shall terminate against the building at a height not to exceed approximately fourteen (14) feet above the pavement, except with prior approval of the Design Review Committee.
- (3) Rigid or fixed awnings or canopies are not permitted unless an integral part of the structure, in good condition, of similar materials, compatible with, and harmonious with the scale and character of the structure and adjacent structures. New rigid or fixed awnings or canopies may be added to existing structures subject to the parameters outlined above and with prior approval by the Design Review Committee.

E. Exterior Walls

- (1) All exterior front, side, or rear walls which have not been wholly or partially resurfaced or built over shall be repaired and/or improved in an acceptable manner. Unpainted masonry walls may be painted where necessary to conceal misused material or patched wall coverings. Other unpainted masonry walls may be painted only with the approval of the Design Review Committee. Existing painted masonry walls shall have loose material removed and be painted a single color except for trim which may be another color. Samples of all proposed colors shall be submitted for approval to the Design Review Committee with proposed improvement plans. Patched walls shall match the existing adjacent surfaces as to materials, texture, color, bond and jointing.
- (2) Applied facing materials shall be treated as follows:

If original they shall be painted and/or repaired as necessary according to the minimum standards set forth in these architectural guidelines. If not original and in need of significant repair, or not in harmony with, the character of the building, they are to be removed to reveal the original exterior material which shall be repaired as necessary or removed and replaced by new facing materials, according to the minimum standards set forth in these architectural guidelines, as approved by the Design Review Committee.
- (3) Existing miscellaneous elements on the building fronts, such as empty electrical conduits, unused brackets, etc., shall be removed and the building surface repaired or rebuilt as required to match adjacent surfaces.
- (4) Sheet metal gutters, downspouts and copings shall be repaired or replaced as necessary and shall be neatly located, securely installed, and painted to harmonize with the other building front elements.

F. Buildings Visible from Public Ways

If a building, side or rear, is exposed to view from a public way or public parking lot, the face of the building so exposed shall be improved in a manner consistent with these architectural guidelines as necessary to avoid visually detracting from the area.

G. Mechanical and Electrical Equipment on Exterior Walls

- (1) Individual room air-conditioning units shall not be installed in front or side wall windows, if visible from streets or public improvements, without prior approval by the Design Review Committee.
- (2) Through wall air-conditioning units may be installed, subject to prior approval by the Design Review Committee, provided where visible from streets or public improvements the units do not project beyond any adjacent exterior face of the building and are properly screened and ventilated and do not detract from the building character and appearance.

- (3) Where through wall air-conditioning units cannot be flush mounted, awnings may be used in order to make the units as unobtrusive as possible. In such a case, they must be compatible with the scale and character of the building and must be approved in advance by the Design Review Committee.
- (4) Grilles, louvers, vents and other mechanical and electrical items may be installed in or on exterior walls, where unavoidable and necessary for the function of the building, subject to prior approval by the Design Review Committee. Where visible from streets or public improvements the necessary items shall be painted or otherwise made as unobtrusive as possible and shall not detract from the building character and appearance.

H. Roofs

- (1) Chimneys, elevator penthouses, or any other auxiliary structure on the roofs shall be repaired and cleaned as required in Section F, "Buildings Visible from Public Ways."
- (2). Any mechanical equipment placed on a roof shall be concealed from public view and be as inconspicuous as possible from other viewpoints. Equipment shall be screened with suitable elements of a permanent nature or finished so as to harmonize with the rest of the building. Where such screening is unfeasible, equipment shall be painted in a manner as to minimize its visibility.
- (3) Roofs shall be cleaned and kept free of trash, and debris. Other elements which are not a permanent part of the building are not permitted.

I. Auxiliary Structures

Attached or unattached structures at the rear of buildings which are structurally deficient shall be properly repaired or may be demolished upon approval of the Design Review Committee.

J. Rear and Side Yards and Parking Areas

- (1) When a rear or side yard exists or is created through demolition, the owner may utilize the space for storage and loading or parking provided the area is appropriately landscaped and/or screened from all adjacent streets, alleys, and public improvement areas. An appropriate sign not exceeding six (6) square feet may be used to identify and control parking and loading, subject to Design Review Committee approval.
- (2) Off-street parking areas shall be designed as an integral part of the total site design with careful regard to orderly arrangement, landscaping and ease of access. Off-street parking areas, except at entrance ways, shall be separated from streets or public rights-of-way by appropriate landscaping or screening.

- (3) Existing front yard parking areas shall be clearly defined as to ingress, egress and internal circulation and must be appropriately screened by plant materials and/or structure.
- (4) Fences must be compatible with the architecture of the building and the streetscape. Galvanized chain link fencing (silver) is prohibited, however, the Committee may consider, given specific justification, chain, link which is painted or coated in a dark color.

K. Signs

- (1) Signs shall be limited to those identifying the property or identifying the use conducted therein. Advertising by material or product manufacturers and suppliers, other than the primary use of the property, shall not be permitted. All lighting elements such as wires, conduits, junction boxes, transformers, ballasts, switches and panel boxes shall be concealed from view as much as possible.
- (2) Signs and displays for advertising or promotion are not permitted in public rights-of-way unless specifically authorized in writing by the Design Review Committee, in addition to securing the necessary permits from the City.
- (3) Generally, projecting signs shall not be permitted on any portion of any building. Exceptions may be granted for Historic signs or signs of unique graphic design which are less than 12 square feet per face and only with prior Design Review Committee approval.
- (4) Painted or sewn signs on awnings, existing marquees, or canopies may be permitted, subject to Design Review Committee approval.
- (5) Flat signs shall be placed parallel to the building face and shall not project more than twelve (12) inches from the surface of the building and shall not exceed in area two times the width in feet of the frontage of the building. Flat signs shall be placed no higher than the bottom of the second story window where windows exist or approximately fourteen (14) feet above grade level, whichever is lower.
- (6) In the case of corner properties, one flat sign per side is permitted. The area of each sign shall not exceed two times the lesser frontage width in feet. The depth and height limitations shall apply as in paragraph "5" above.
- (7) Painted signs on framed backings or use of separate cut out letters or neon shall be permitted in accordance with the above limits for flat signs.
- (8) Lettering applied to ground floor show windows or entrance doors shall not exceed six (6) inches in height, and the text shall be limited to identification of the primary business therein.

- (9) Signs identifying the business occupant shall be permitted at rear entrance doors if they are mounted flush against the building and do not exceed six (6) square feet in size, except where authorized by the Design Review Committee.
- (10) Signs in upper floor windows are generally not permitted.
- (11) Pole or “lollipop” signs shall not be permitted except with prior approval of the Design Review Committee.
- (12) If approved methods of identification are not available, monument type signs may be permitted if they are in scale and character with surrounding buildings and only with prior approval of the Design Review Committee. Monument signs shall not exceed twelve (12) feet in total height and must be four (4) feet or less from the bottom edge of the sign face to grade. The area of the sign face shall not exceed forty (40) square feet. Monument signs must be appropriately landscaped by structure and/or plant materials, which effectively screen support apparatus.
- (13) Roof top signs, signs on or above the parapet of a building, billboards, or outdoor advertising signs painted or mounted on billboards or other structures, except as otherwise herein provided, shall not be permitted.
- (14) The Design Review Committee may consider the placement of corporate logos on the parapet or top face of buildings that exceed ten (10) stories in height and serve to house major corporate tenants which occupy a minimum of 30% of the total building space. Logos which are not purely pictorial or single letters but are graphic name displays shall be limited to the identifying name. The logo size shall not exceed in square feet the number of linear feet of the width of the building face to which it is applied. The display of more than one corporation’s logo is prohibited. Corporate logos must be of exceptional quality and design and be compatible with the scale and character of the building. Billboards, sign boards, box signs, and logos painted directly on the face of the building are prohibited.
- (15) Temporary signs, such as lease or rental signs, with prior Design Review Committee approval, may be permitted but shall not be posted for a period that exceeds ninety (90) days. Flashing, moving or portable signs shall not be permitted except with the approval of the Design Review Committee.
- (16) All signs not conforming to these requirements shall be removed within two (2) years from the project initiation date. No lease for billboards expiring after the project area has been established shall be renewed.

L. Vacant Lots

When a vacant lot exists, whether temporary or permanent, or is created through demolition, the owner must properly landscape and/or screen the property from adjacent streets, alleys and public improvement areas; cover all areas not actively used for storage, parking or loading with grass or other ground cover approved for the property by the Design Review

Committee; and maintain said ground cover and keep all the property free of trash and debris.

M. Demolition

No structure shall be demolished without prior approval by the Design Review Committee. In general, no request for approval of a demolition permit will be considered without detailed plans for the proposed use of the site after demolition.

N. Other

All other building repairs identified during the initial inspection which are necessary to safeguard the health and safety of building occupants shall be made in accordance with applicable sections of the City Building Code.

Article II. New Development of Non-Residential Properties

The following standards shall be applied to all new non-residential structures or additions to existing structures.

A. Community Character

- (1) New developments shall be designed with a sensitivity to the overall goals and objectives of the community. Specific sites shall be considered in relation to their immediate environment (retail node, pedestrian spine, office park etc.) and the placement and context within the larger project or redevelopment area and the land-use or urban design plans prepared for the area.

B. Building Design

- (1) Each building unit, (whether existing or proposed) shall be an integral element of an overall site design and shall reflect and complement the character of the surrounding area or plans prepared therefore.
- (2) Locations of proposed commercial buildings shall be compatible with any adjacent residential areas. Building facades shall be complementary to those adjacent in terms of scale, amenity and appearance.
- (3) Building facades shall be designed to function as an integral part of the streetscape with attention to visibility, safety, lighting and incorporation of public amenities.

- (4) Building design shall reflect an overall sensitivity to existing architecture of quality with regard to building materials, fenestration, height, scale, color, contrast, roofs and parapets.
- (5) Building design shall address the public right-of-way, and define and complement the streetscape.
- (6) Generally, blank walls are discouraged. Developers and designers are encouraged to provide windows in high activity areas or to provide architectural relief elements in wall design at the ground level.
- (7) Awnings, canopies, porticos, etc. shall be designed as an integral part of the structure, shall be at least 8 feet above grade and shall not project more than 7 feet over a public right-of-way. Any awning, canopy, or portico, which is supported by poles, columns, or other vertical support elements placed in a public right-of-way requires special approval and permits in addition to Design Review Committee approval.
- (8) Building entrances shall provide ease of access, be designed so that pedestrians/patrons have visual access and can easily identify the entrance points, be well lighted, and act as an integral part of the streetscape.
- (9) Building materials shall be of good quality. Trendy materials of questionable longevity shall be avoided. Metal buildings are generally prohibited; however, the Design Review Committee may consider developments which incorporate such structures provided they are of superior quality and design and are compatible with the surrounding area in terms of amenity and appearance.
- (10) Corner buildings shall be designed so that they are architecturally responsive to the corner condition and help to define the intersection and accentuate the building line along the street.
- (11) Projects in redevelopment areas which lack sufficient existing structures to define architectural style, period, or quality shall be designed with consideration of the goals and objectives of the community and overall concepts of the redevelopment or urban design plan, using quality materials and construction.

C. Site Planning and Design

- (1) Site Planning shall consider the orderly arrangement of all site elements including parking, delivery, access, trash storage and collection, landscape treatments, open space, pedestrian walkways, street, furniture, auxiliary services (phone, vending machines, news, *etc.*), signs, building and auxiliary structures, and fencing.
- (2) Buildings:
 - (a) Where adjacent structures exist, buildings shall be located at comparable or compatible setbacks.

- (b) Where no adjacent structures exist, buildings generally shall be located at the minimum setback in order to define the street/building line.
 - (c) Generally, buildings shall be located so that maximum building Montages define the street or public right-of-way.
- (3) Parking:
- (a) Parking lots on corners are generally prohibited. The Design Review Committee may consider such lots provided the applicant provides specific justification and the design is of superior quality incorporating screening.
 - (b) Parking lots shall be located in rear or side yards in order to minimize their view from public rights-of-way. Where parking areas are exposed to public view, they shall be screened with appropriate structural and/or plant materials.
 - (c) Vehicular access to parking areas shall be direct and not in conflict with general vehicular movement serving the various uses within the site. Ingress and egress points shall be well distanced from intersections to avoid congestion and interference with traffic. Where feasible, entrances shall be shared with adjacent properties.
 - (d) Entrances and exits shall be designed so that they are easily identifiable by motorists. Any signage required to direct motorists to entrances shall be simple, clear, and designed to work in harmony with site elements and signs for the project. Any gates, arms, or booths shall be setback from the face of the adjacent buildings. Booths shall be designed as an integral part of the development.
- (4) Loading and Service Area Design
- (a) Loading and service space shall be unobtrusively provided off-street to serve business uses in the proposed development.
- (5) Open Space and Landscape Design
- (a) Proposed development shall consider the provision of appropriate open space in combination with the proper siting of buildings. Streets, pedestrian walkways and open spaces, including street furniture and signs, shall be designed as an integral part of the overall design, and shall be properly related to adjacent existing and proposed buildings.
 - (b) A coordinated landscape program for the proposed development shall be incorporated for the entire proposed site. Landscape development shall include plantings in combination with related paving and surface treatments and other amenities deemed necessary to the project.

D. Signs

- (1) A systematic and coordinated sign package is required for all new developments. Sign packages for new developments shall address signs for the entire site including, but not limited to, building identification, business name, tenant signage, parking, loading or service, informational and directional signs.
- (2) Consideration shall be given to the provision of sign space in the building and site design.
- (3) All signs shall reflect quality workmanship and materials.
- (4) Special consideration shall be given to the quality and placement of light sources emitting from or directed toward signs.
- (5) SEE - I, Section K, "Signs" for specific criteria regarding size, placement, and types of signs allowed.

**APPENDIX A:
The Secretary of the Interior's
Standards for the Treatment of Historic Properties**

The Secretary of the Interior's Standards for the Treatment of Historic Properties were developed to help protect our nation's irreplaceable cultural resources by promoting consistent preservation practices. The Standards may be applied to all properties listed in the National Register of Historic Places: buildings, sites, structures, objects, and districts.

The Standards are a series of concepts about maintaining, repairing and replacing historic materials, as well as designing new additions or making alterations. There are Standards for four distinct, but interrelated, approaches to the treatment of historic properties --preservation, rehabilitation, restoration, and reconstruction.

In addition to applying the required design guidelines contained in this Historic Preservation Plan, the following Secretary of the Interior's Standards for the Treatment of Historic Properties also shall be applied as general guidelines in the design review of proposed work on historic properties (residential and non-residential), and the Standards should be used by anyone planning and undertaking work on historic properties.

Note: The "Standards for Rehabilitation" cited in 36 CFR 67 also are required to be followed when property owners are seeking certification for Federal tax benefits. Illustrated guidelines for interpreting the Secretary of the Interior's Standards for the Treatment of Historic Properties may be found at <http://www.nps.gov/history/hps/tps/standguide/index.htm>.

STANDARDS FOR PRESERVATION

Preservation is defined as the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions

are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Preservation as a Treatment: When the property's distinctive materials, features, and spaces are essentially intact and thus convey the historic significance without extensive repair or replacement; when depiction at a particular period of time is not appropriate; and when a continuing or new use does not require additions or extensive alterations, Preservation may be considered as a treatment.

STANDARDS FOR REHABILITATION

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Rehabilitation as a Treatment: When repair and replacement of deteriorated features are necessary; when alterations or additions to the property are planned for a new or continued use; and when its depiction at a particular period of time is not appropriate, Rehabilitation may be considered as a treatment.

STANDARDS FOR RESTORATION

Restoration is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

1. A property will be used as it was historically or be given a new use which reflects the property's restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period will not be undertaken.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Materials, features, spaces, and finishes that characterize other historical periods will be documented prior to their alteration or removal.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.

6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

Restoration as a Treatment: When the property's design, architectural, or historical significance during a particular period of time outweighs the potential loss of extant materials, features, spaces, and finishes that characterize other historical periods; when there is substantial physical and documentary evidence for the work; and when contemporary alterations and additions are not planned, Restoration may be considered as a treatment. Prior to undertaking work, a particular period of time, i.e., the restoration period, should be selected and justified, and a documentation plan for Restoration developed.

STANDARDS FOR RECONSTRUCTION

Reconstruction is defined as the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

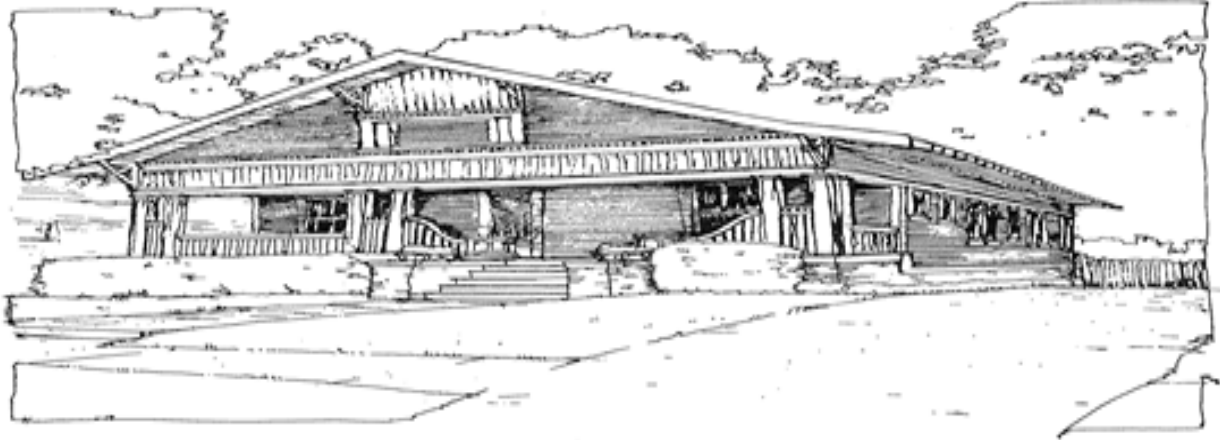
Reconstruction as a Treatment: When a contemporary depiction is required to understand and interpret a property's historic value (including the re-creation of missing components in a historic district or site); when no other property with the same associative value has survived; and when

sufficient historical documentation exists to ensure an accurate reproduction, Reconstruction may be considered as a treatment.

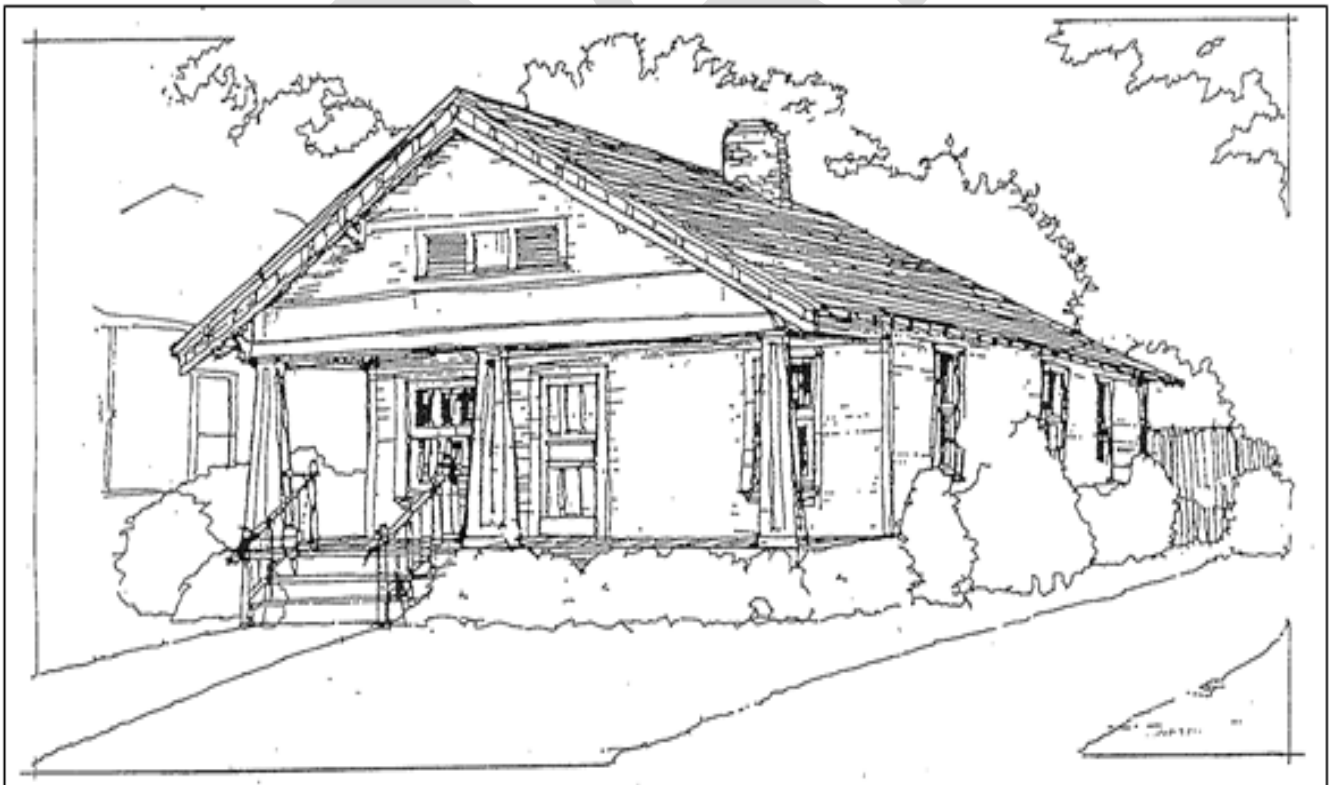
APPENDIX B: Architectural House Styles & Features

(The following drawings and photographs are only illustrations and examples of the many architectural house styles found in Waverly Place.)

A variety of architectural styles can be seen in Waverly Place. Architectural styles are identified by the features that make a building or structure noteworthy and historically distinguishable. Styles are a reflection of popular ideas of external influences developed during the time period. An architectural style may include elements such as forms, method of constructions, materials and characteristics found in a region.

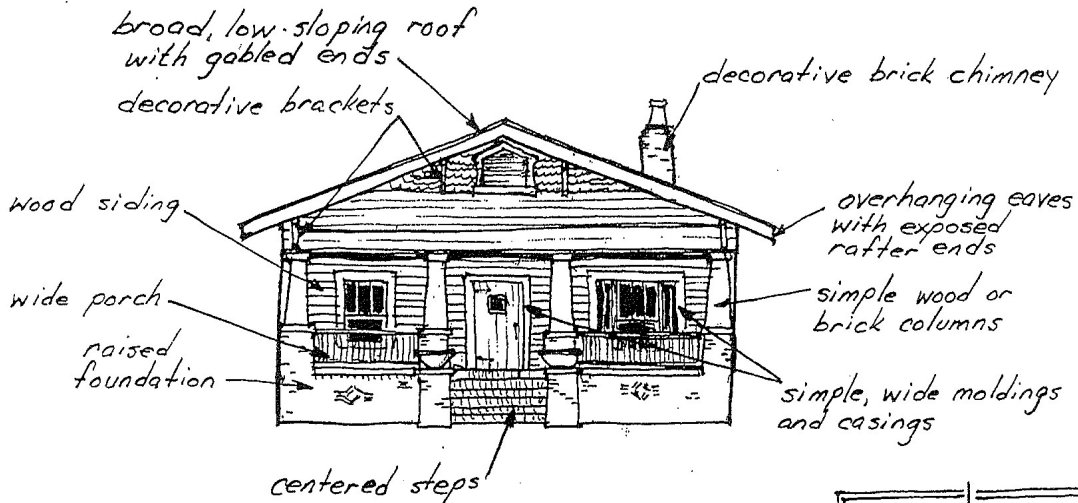


BUNGALOW



BUNGALOW

° WHAT TO LOOK FOR



° GENERAL CHARACTERISTICS

Gustav Stickley, a New York furniture maker, helped to popularize the bungalow through his magazine, "The Craftsman."

Architects and homeowners praised bungalows as embodiments of the American ideals of thrift and individualism

- popular from late 1800's to the 1930's
- simple, efficient, and informal in plan.
- generally wood-framed with wood or shingle siding
- roofs originally covered with wood or with asphalt shingles; occasionally with terra cotta clay tiles
- most bungalows are simple, one-story houses, but size, shape, and decorative features can vary widely

Bungalow - is a corruption of the Hindi word *bangla* - a type of light cottage with a veranda. These were favored by the British colonial rulers in India, who later took the style to England. The style then travelled to America, where it enjoyed wide popularity.

Craftsman and Bungalow

Bungalow

The bungalow is an expression of the Arts and Crafts movement and describes a building type. Bungalows are usually square and compact in massing with low roof pitch, and porch.

Craftsman

Many bungalows featured Craftsman style details. These details include grouping of windows, knee braces, rafter tails, dormers with different roof variations, and multiple light windows over a single pane.



1412 11th Place South, c. 1924



1008 14th Avenue South, c. 1915



1420 11th Place South, c. 1924



1030 16th Avenue South, c. 1915

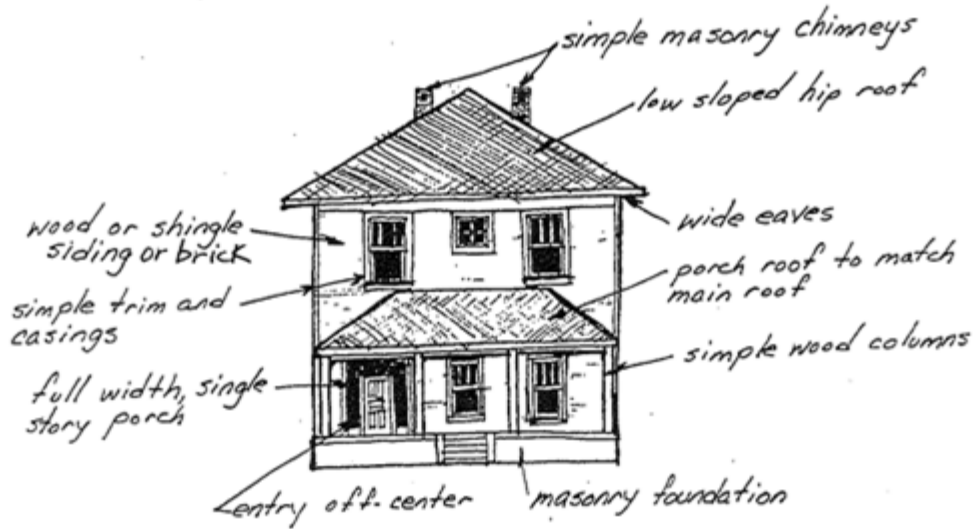


1405 11th Street South, c.1925

DRAFT

FOUR SQUARE

WHAT TO LOOK FOR



GENERAL CHARACTERISTICS

Easily built, utilizing many factory built components, and assembled using standardized construction techniques, the Four Square allowed builders to rapidly erect spacious, economical houses. These characteristics were transplanted and adapted to houses across America, and even to those as far away as the frontiers of Australia and Africa.

- built from late 1890's to the 1920's
- found locally in Waverly Place and other historic districts throughout Birmingham
- wood framed with wood lap or shingle siding
- floor plans arranged formally with parlor and entry hall in front, kitchen and service areas in rear, and bedrooms upstairs
- roof generally covered with wood or asphalt shingles

The Four Square is considered part of America's few indigenous architectural movements. This particular movement found its greatest voice in the stylistically similar "Prairie Style" houses by renowned architect Frank Lloyd Wright.



American Foursquare

The American Foursquare building type features box-like massing with four rooms up- stairs and a similar number of rooms downstairs. Popular at the turn of the century until the 1920's, the plan was adaptable to a number of styles including Classical Revival and Craftsman. Common traits include two stories, square form, hipped or pyramidal roof with central dormer, and one-over-one windows.



1409 10th Street South, c. 1908



1628 11th Place South, c. 1908



1732 11th Place South, c. 1910



1716 11th Place South, c. 1910

Classical Revival

The Classical Revival style, also referred to as Classic Revival and Neoclassical, became popular after the World's Columbian Exposition in 1893 and remained popular until the mid-twentieth century. The style can be applied to building typologies such as the American Foursquare. The Classical Revival style is typically symmetrical and features pedimented columns, paired columns, side porches, and projecting entrances.



1038 16th Avenue South, c. 1903



1407 10th Place South, c. 1924

*The residence at 1407 10th Place South is an example of a side gabled cottage with Classical Revival stylistic details.

Queen Anne

The Queen Anne is a Victorian period style prominent in the late 1800's until the early turn of the century. The style emphasized vertical elements, featured complex roof forms, asymmetrical façades, and machine produced details. Queen Anne residences varied in size from larger homes to small cottages.



1440 10th Place South, c. 1905
Late Victorian house transitioning into Craftsman.



1135 10th Place South, c. 1905
Queen Anne architectural style house.

Vernacular

Vernacular architecture was constructed by someone without formal training with the use of local materials. Vernacular buildings respond to the region, climate, and site. The function of the building was the primary concern while constructing, and the aesthetic details would be minimal.



1401 11th Street South, c. 1902

